

Glenn Morris

From: Patricia Taylor
Sent: Friday, January 20, 2023 10:30 AM
To: Glenn Morris
Subject: FW: Question re: New construction of a residence of ALR Land that has no existing residence
Attachments: Herd Rd - Architecturals - Garage 1.pdf; Herd Rd - Architecturals - Garage 2.pdf; Herd Rd - Architecturals - SFD.pdf; Herd Rd - Architecturals Pool House.pdf

From: Patricia Taylor
Sent: Friday, February 25, 2022 2:24 PM
To: 'ALC.SouthCoast@gov.bc.ca' <ALC.SouthCoast@gov.bc.ca>
Subject: Question re: New construction of a residence of ALR Land that has no existing residence

Hi Nicole,

I was told to reach out to you regarding a Building Permit application for new construction of a very large residence on ALR land that currently has no existing residence – and I have concerns about the plans they are proposing. But first, here is some background information:

Property Location: PCL A, Herd Road (PID: 008-334-463) – located directly beside 7000 Mays Road.



What they are wanting to build on the property:

- Two story Single Family Dwelling
- Two story Garage #1 – upper level with gym, full washrooms, sauna, infrared sauna and storage
- Two story Garage #2 – upper level has library, full washroom, office, study, closets

- Pool shed (150 sq.ft. – 13.9355m2)
- Pool

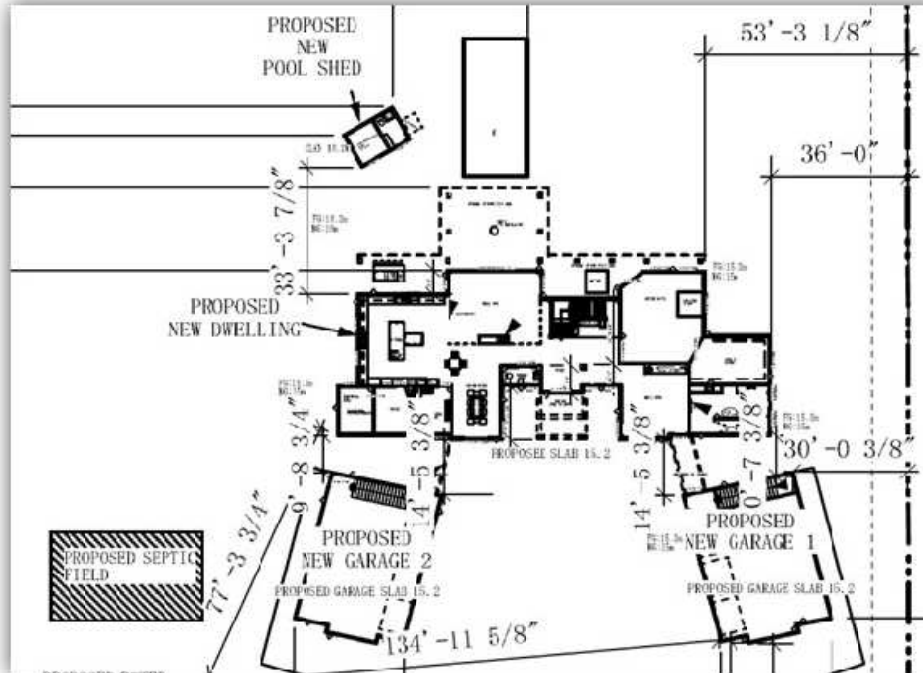
Size of Buildings:

House (361.19m2) + Garage 1 (114.05m2) + Garage 2 (114.05m2) + Pool Shed (13.4m2)

====> 602.69 m2

| FLOOR AREA | | |
|-----------------------------|--|--------------|
| - UPPER | | 122.73 SQ.M. |
| - MAIN | | 361.19 SQ.M. |
| ACCESSORY BUILDING 1 1ST FL | | 114.05M M. |
| ACCESSORY BUILDING 1 2ND FL | | 114.05M M. |
| ACCESSORY BUILDING 1 1ST FL | | 114.05M M. |
| ACCESSORY BUILDING 1 2ND FL | | 114.05M M. |

Overall site plan: (I have also attached the architectural plans for all buildings)



The question:

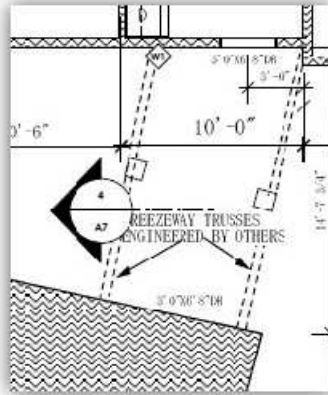
I understand applicants are permitted a proposed principle residence under 500 m2 (Bulletin 05), and that the principle residence is under that at 361.19m2, but...I guess I'm stumbling here. I don't know if the proposed garages with their library and office and saunas and workout facilities would be considered to be part of the house - especially with the breezeway between each garage and the house. It appears as though they are simply spreading out their living space by building multiple structures. And truth be told, I don't exactly know what the appropriate question to ask actually is –

other than, is there something wrong with this picture? I want to be sure before I approve any development on this land (from the Planning Department end, that is), that we've taken all the appropriate steps.

From a Planning perspective, the house meets the setbacks, building height, density, lot coverage, etc.

But am I missing something here from the ALR rules and regulations?

Any assistance would be appreciated.



4. NEW CONSTRUCTION OF A RESIDENCE ON ALR LAND THAT HAS NO EXISTING RESIDENCE

No application is required to the Commission in order to construct a residence with a total floor area of 500 m² or less on a parcel of ALR land which has **no existing residence** (a "vacant parcel").

The Commission will consider the residence when built on a vacant parcel to be the "principal residence".

If the proposed principal residence is more than 500 m², in order to construct the residence the landowner must first apply to the Commission through the local government or First Nation Government and obtain permission from the Commission: ALCA, s. 20.1(1).

"Construct" includes "to build a new structure" or "to place on land a new structure that is fully or partially pre-fabricated": ALCA, s. 1(1).

Warm regards,

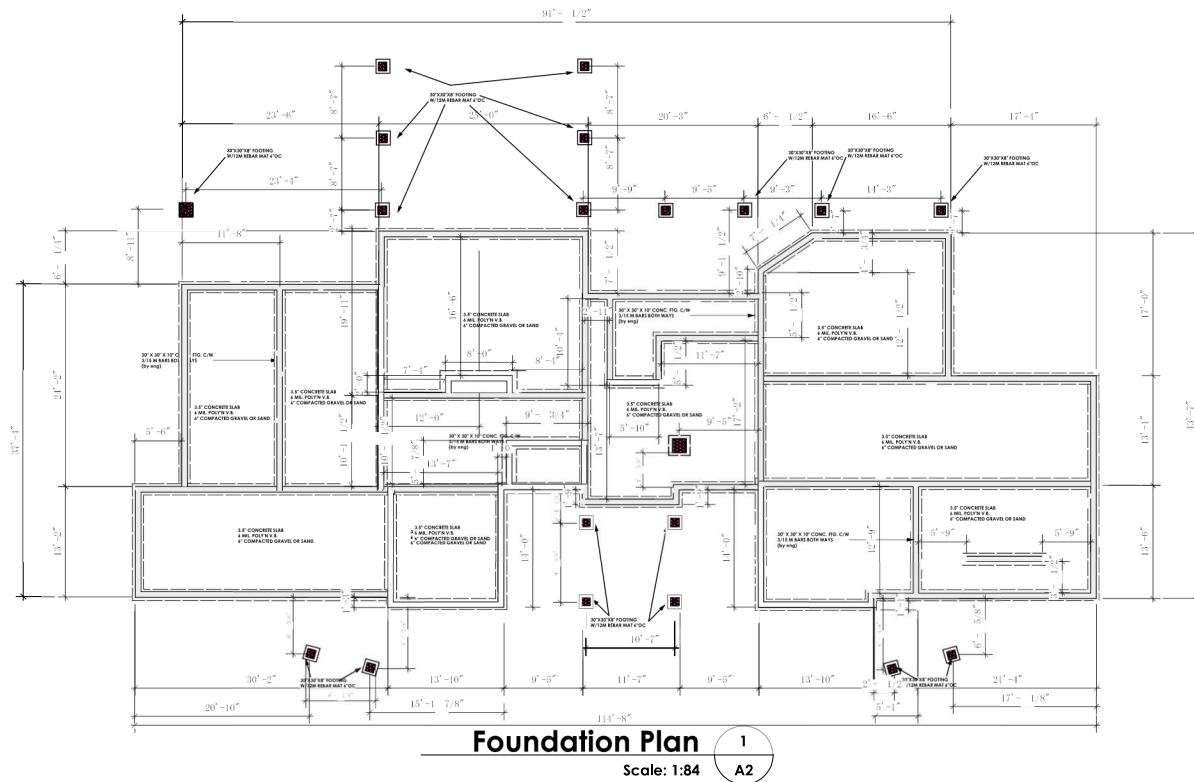
Patricia Taylor

Patricia Taylor
Community Planning Technician
Development and Engineering Services | Planning
Municipality of North Cowichan
patricia.taylor@northcowichan.ca
T 250.746.3263



www.northcowichan.ca

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11'-8"

Owner, Gen. Or Sub Contractor To Verify And Thoroughly Review All Aspects Of Plan Prior To Starting Work And Report Any Discrepancies Immediately To Building Designer. Building Designer Not Liable For Losses Of Any Kind For Failure To Report Discrepancies Prior To Starting Work Or Changes Made To Plan During Construction.

Structural Engineer To Review Plan (where required) And Specify Structure As Deemed Necessary. It Is The Responsibility Of The Owner Or Contractor To Verify All Engineering Requirements With Municipal Building Departments Prior To Starting Work.

Truss Manufacturer To Review Plans To Verify Roof Design Where Eng. Roof Trusses Are Shown, And To Contact Building Designer To Advise If Revisions Are Necessary.

PROFESSIONAL SEALS

Consultants

List of Drawings

| | |
|----|-------------------------|
| A1 | Site Plan |
| A2 | Foundation Plan |
| A3 | First Floor Plan |
| A4 | Second Floor Plan |
| A5 | Elevations |
| A6 | Elevations |
| A7 | Cross Section/Roof Plan |
| A8 | Details |

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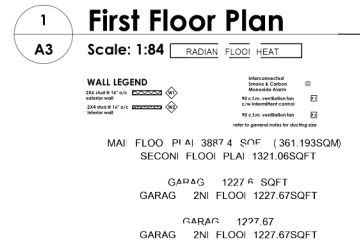
Truss Manufacturer to review plans to verify roof design where eng. roof trusses are shown, and to contact building designer to advise if revisions are necessary.

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| OWNER NO. | |
| DATE | 8/2021 |
| SCALE | 1:84 |
| DRAWN | A. Shota |
| REVIEWED BY | |

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| PROJECT | PROPOSE DWELLING PII 008-344.463 HER: RC DUNCA AC ARE: JURISDICTION -ROLL 04-315-05164.001 |
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Principal dwelling house plan



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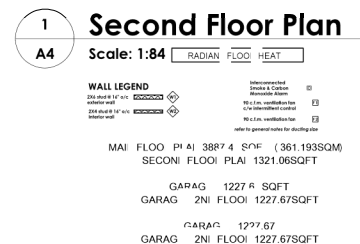
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| DRWG NO. | |
| SHT. NO. | 3 of 8 |
| DATE | DE ^I 8/2021 |
| SCALE | " 1:84 |
| DRAWN | A. Sihota |
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- Trust Manufacturer To Review Plans To Verify Roof Detail Where Eng. Roof Detail Are Shown And To Contact Building Designer To Advise If Revisions Are Necessary.

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| ISSUES/REVISED | | |
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| NO | DATE | DESCRIPTION |

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DATE DEF 8/2021

DOI: 10.1002/eqm2

SCALE " 1:84

FILE A NEW

A. Sihota

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PROPOSED DWELLING
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P|| 009-344-463

HERI RE DUNCAI RC

ARE JURISDICTION -ROLL

04-315-05164.001

94 919 99104.001



Rear Elevation

Scale: 1:84

1
A5

Front Elevation

Scale: 1:84

2
A5

PROFESSIONAL SEALS

Consultants

List of Drawings

ISSUED/REVISED

| NO. | DATE | DESCRIPTION |
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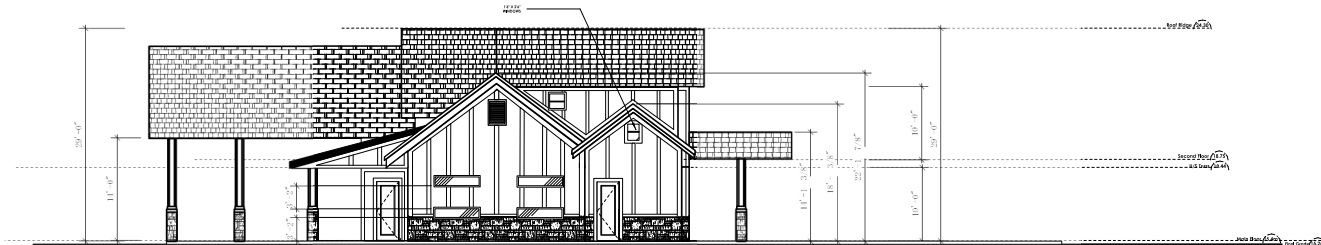
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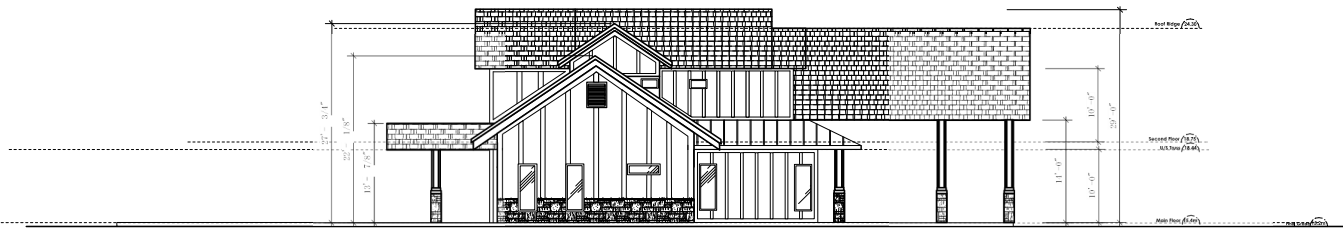
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| OWNER NO. |
| SHEET NO. A2 OF |
| DATE |
| SCALE |
| DRAWN |
| REVIEWED BY |

PROJECT



West Elevation 3
Scale: 1:84 A5



East Elevation 4
Scale: 1:84 A5

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| NO. | DATE | DESCRIPTION |
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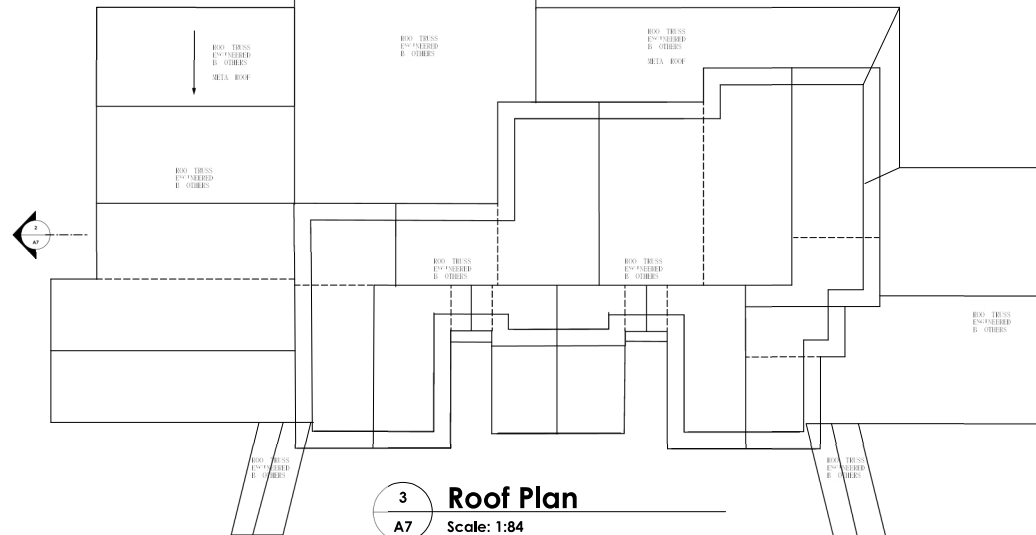
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| OWNER NO. | |
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PROJECT

PROPOSED NEW DWELLING
PJI 008-344-463
HERI RE DUNCA RD
ARE JURISDICTION -ROLL
04-315-05164.001



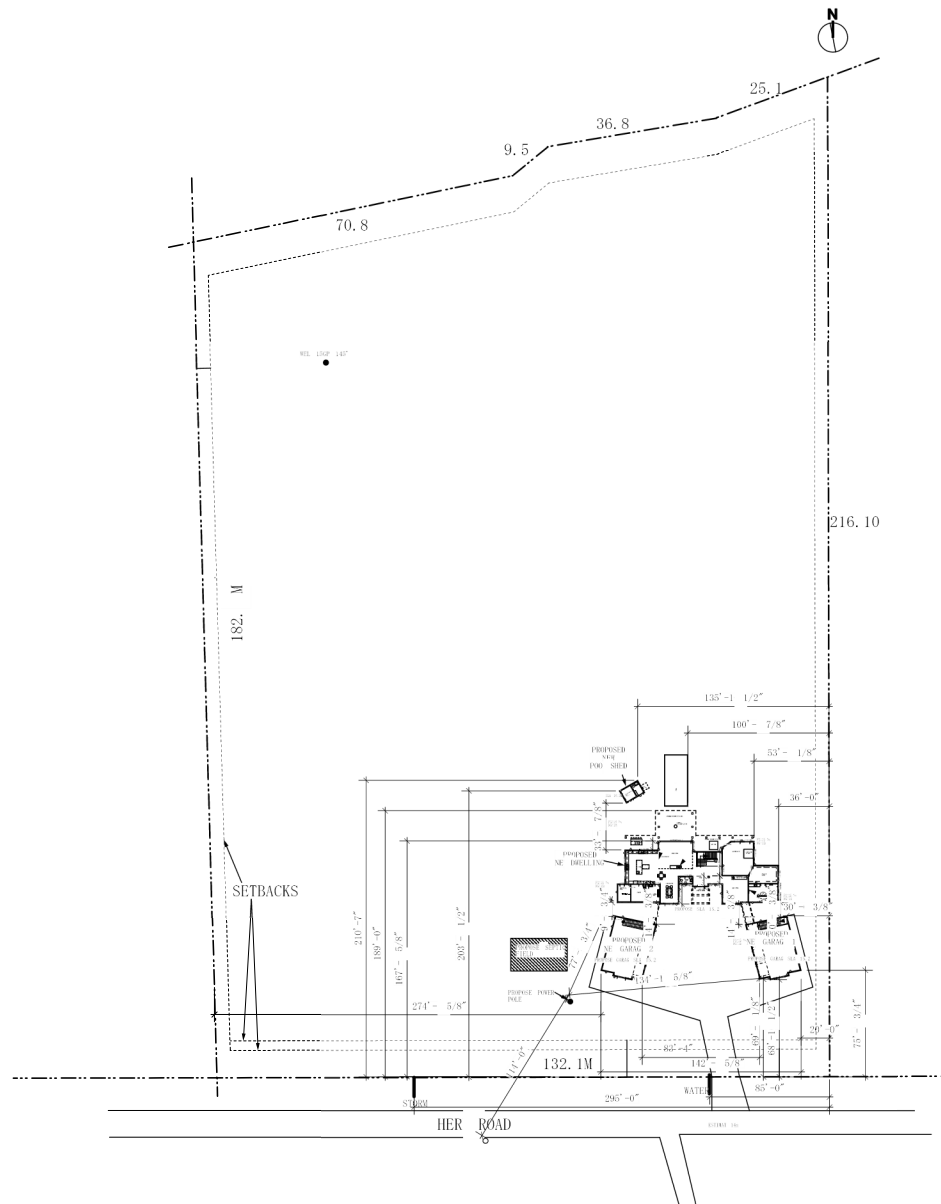
- F1. DAMPROOFING (where required) ON 8" TH. CONC. FOUNDATION WALL C/W 15# BARS (SEE STRUCTURAL DWG) ON UNDERSTUD TALL SOUND BARRIERS
- F2. 16"x8" CONC. FOOTINGS C/W 2# BARS CONC. 3 IN. FROM BOTH ON UNDERSTUD TALL SOUND BARRIERS
- F3. 4" PERIMETER DRAIN 3" BOSTI PIPE FOR DRILL DRAIN ROCK
- F4. ANCHOR BOLTS @6.0 FT. @1/2" MAX GASKETS
- F5. 8-12 BOLD REINFORCING FOR 2"x8" CONC. AROUND PERIMETER (under d/s) where less than 2"x8" below grade where required, or omitted to int. face of d/s wall in crosspanses



PROJECT
PROPOSED DWELLING
PII 008-344-463
HERI RE DUNCA RC
ARE, JURISDICTION -ROLL
04-315-05164.001

| ITEMS | REQUIRED | PROPOSED |
|-----------------------------|----------|----------------|
| LOT AREA | | 27134.17 SQ.M. |
| ALLOWABLE PAVED SURFACE | | |
| PRINCIPAL BUILDING | | |
| LOT COVERAGE | | |
| SETBACKS HOUSE | | |
| - FRONT (SOUTH) | 6.00 M. | |
| - REAR (NORTH) | 8.00 M. | |
| - SIDE (EAS) | 3.00 M. | |
| - SIDE (WEST) | 3.00 M. | |
| SETBACKS ACCESSORY BLDG | | |
| - FRONT (SOUTH) | 8.00 M. | |
| -REAR (NORTH) | 8.00 M. | |
| -SIDE (EAST) | 3.00 M. | |
| -SIDE (WEST) | 3.00 M. | |
| FLOOR AREA | | |
| - UPPER | | 122.73 SQ.M. |
| - MAIN | | 361.19 SQ.M. |
| ACCESSORY BUILDING 1 1ST FL | | 114.05M M. |
| ACCESSORY BUILDING 1 2ND FL | | 114.05M M. |
| ACCESSORY BUILDING 1 1ST FL | | 114.05M M. |
| ACCESSORY BUILDING 1 2ND FL | | 114.05M M. |

1 Siteplan
A1 Scale: 1:500



PROFESSIONAL SEALS

Consultants

List of Drawings

| | |
|----|------------------------|
| A1 | Siteplan |
| A2 | Foundation/ Main Floor |
| A3 | Second Floor Plan/Roof |
| A4 | Elevations |
| A5 | Cross Sections |
| A6 | Details |

ISSUED/REVISED

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General Contractor and or Owner to verify and thoroughly review all aspects of plan prior to commencement and setting out of all work. Any discrepancies are to be reported to Building Designer immediately. Building Designer not liable for changes made to plan on site or failure to report discrepancies. Refer to General notes included on plan.

Note: B.C.L.S. to verify placement and siting of all structures on lot. General Contractor to work in conjunction with B.C.L.S. to ensure proper placement of structures on site prior to starting work. Building Designer not responsible for any encroachments of any kind with regard to siting or placement of structures on lot.

Structural Engineer to review plan (where required), and specify structure as deemed necessary. It is the responsibility of the owner or contractor to verify and commission all engineering requirements with municipal building departments prior to starting work. Trust Manufacturer to review plans to verify roof design where eng. roof houses are shown, and to contact building designer to advise if revisions are necessary.

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|-------------|-----------|
| DWG NO. | 1 OF 1 |
| SHT. NO. | DE 8/2021 |
| DATE | 8/2021 |
| SCALE | 1:500 |
| DRAWN | A. Sihota |
| REVIEWED BY | |

PROJECT
PROPOSED NEW
GARAGE
PI (00A-344-463
HERI RE DUNCA RC
ARE JURISDICTION ROLL
04-315-05164.001

Owner, Gen. & Sub Contractor To Verify And Thoroughly Review All Aspects Of Plan Prior To Starting Work And Report Any Discrepancies Immediately To Building Designer. Building Designer Not Liable For Losses Of Any Kind For Failure To Report Discrepancies Prior To Starting Work Or Changes Made To Plan During Construction.

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Truss Manufacturer To Review Plans To Verify Roof Design Where Eng. Roof Trusses Are Shown, And To Contact Building Designer To Advise If Revisions Are Necessary.

PROFESSIONAL SEALS

Consultants

List of Drawings

| | |
|----|-------------------|
| A1 | Site Plan |
| A2 | Foundation Plan |
| A3 | First Floor Plan |
| A4 | Second Floor Plan |
| A5 | Roof Plan |
| A6 | Elevations |
| A7 | Cross Section |
| A8 | Details |

ISSUED/REVISED

| NO. | DATE | DESCRIPTION |
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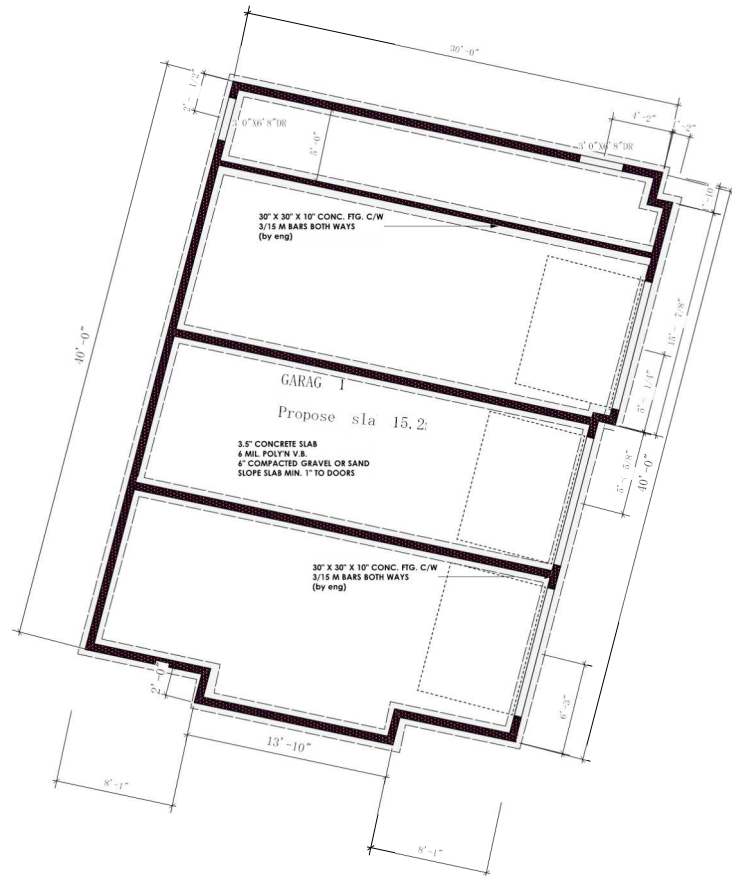
Truss Manufacturer to review plan to verify roof design where eng. roof trusses are shown, and to contact building designer to advise if revisions are necessary.

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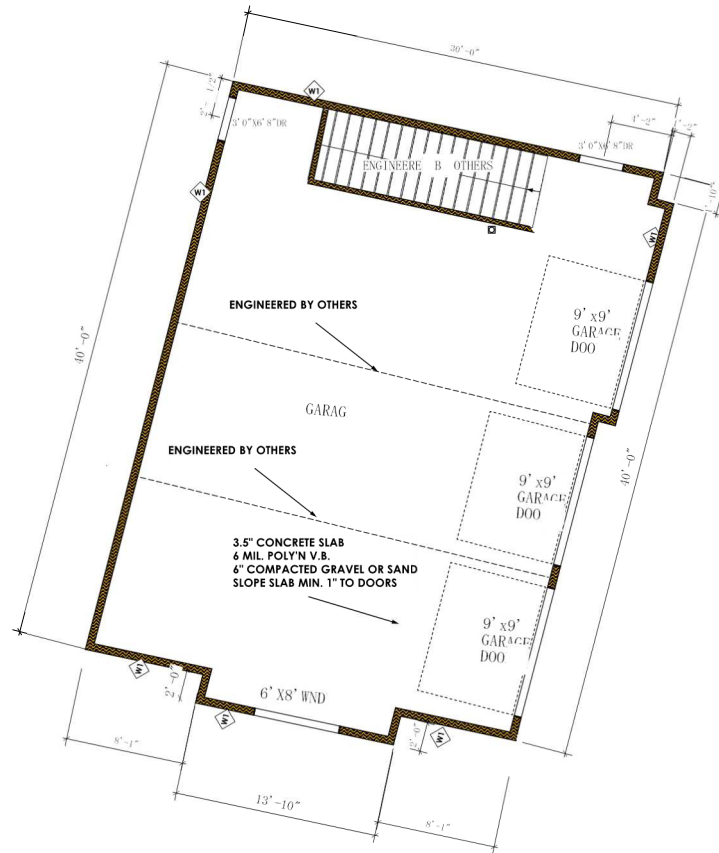
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| OWNER'S NO. | |
| SHT. NO. | 2 OF 6 |
| DATE | DEI 20/2021 |
| SCALE | 1:48 |
| DRAWN | |
| REVIEWED BY | |

PROJECT
PROPOSED NEW DWELLING
PI: 00A-244-463
HEI: RL DUNCA RC
ARE: JURISDICTION ROLL
04-315-05164.001

Garage 1 plan

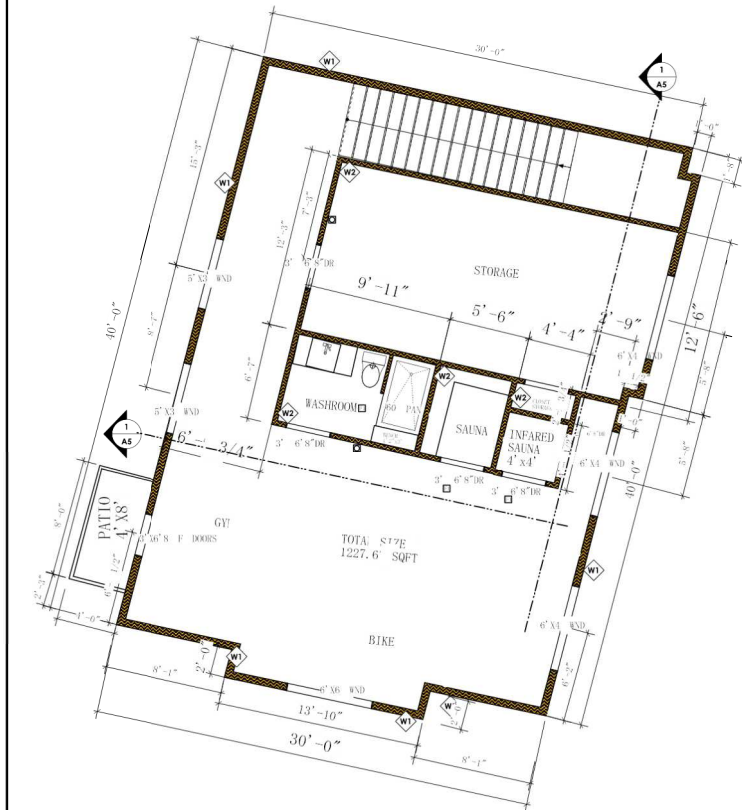
**1 Foundation Plan**

Scale: 1/4" = 1'-0"

**2 Main Floor Plan**

Scale: 1/4" = 1'-0"

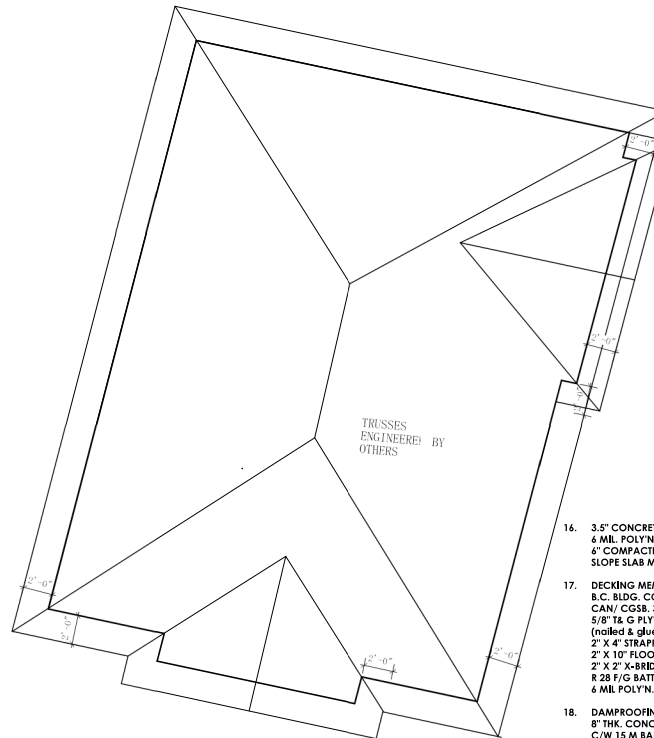
HEA PUMP



Second Floor Plan

Scale: 1/4" = 1'-0"

HEA PUMP

1
A3

Roof Plan

Scale: 1/4" = 1'-0"

2
A3

1. LAMINATED ASPHALT SHINGLES ON 1/2" PLYWOOD OR EQUAL WD TRUSSES (DESIGNED BY MANUF.)
 2. PROVIDE 2" CLEAR BETWEEN R - 40 INSULATION AND SHEATHING. (min. R - 20 @ roof-wall connection)
 3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
 4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM
 5. PRE-FN. ALUMINUM FASCIA GUTTER 2"X 4" SUB. FASCIA BD. VENTED SOFFIT (see contractor)
 6. STEP DOWN TO GARAGE SLAB MAY VARY, VERIFY EXTENT ON SITE
 7. FINISHED GRADE
 8. 5/8" GYPSUM BOARD 6 MIL POLYN V.B. ON U.S. OF WD. TRUSSES
 9. CONC. FIBRE SIDING ON 19mm (3/4") AM SPACE / P.T. WOOD STRAPPING (refer to elevations for exterior fin & refer to details sheet (D1) for rain screen wall application) 2 LAYERS 30 MIN. BUILDING PAPER ON 7/16" PLYWOOD SHEATHING OR EQ. ON 2" X 4" STUDS @ 16" O.C.
 10. 1/2" GYPBD. ON C/W 6 MIL POLYN. & R - 20 INSULATION
 11. DOUBLE GLAZING IN THERMAL BREAK FRAMES 2/2"X10" UNTEL OVER (TYPICAL) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors, to be shatterproof (SP)) ALL WINDOWS TO COMPLY WITH B.C. BLDG. CODE 2006 9.7.2.1 (1) b. WINDOW RATINGS (A.B.C. & F) MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION
 12. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2"X 4" STUDS @ 16" o/c
 13. 5/8" X TYPE GYPSUM BOARD (on garage side) ON 2"X 4" STUDS @ 24" o/c C/W 8-20 INSULN (between garage & living) 1/2" GYPSUM BOARD (on living side)
 14. FINISHED FLOORING ON 5/8" T& G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2" X 10" FLOOR JOISTS @ 12" or 16" O/C (refer to floor plans for spacing) C/W 2" X 2" X-BRDGNG @ 1/2 SPAN
 15. 3 1/2" CONCRETE SLAB ON 6" COMPACTED GRANULAR FILL VERIFY FINISH WITH OWNER
16. 3.5" CONCRETE SLAB 6 MIL POLYN V.B. 4" COMPACTED GRAVEL OR SAND SLOPE SLAB MIN. 1" TO DOORS
 17. DECKING MEMBRANE TO COMPLY WL B.C. BLDG. CODE 2006 9.26.2.1. CAN/ CGSB. 37.54 ON 5/8" T& G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2" X 4" STRAPPING @ 16" O/C 2" X 10" FLOOR JOISTS @ 16" O/C C/W 2" X 2" X-BRDGNG @ 1/2 SPAN R 28 F/G BATT INSULATION 6 MIL POLYN V.B. & 1/2" GYPBD.
 18. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" o/c 8/W ON UNDISTURBED SOLB (SOLID BEARING)
 19. 16"X 8" CONC. FOOTINGS C/W 2 # 4 BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOLB (SOLID BEARING)
 20. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
 21. ANCHOR BOLTS @ 4.0 FT. o/c MAX C/W SILL GASKETS
 22. R-12 RIGID INSULATION FOR 2'-0" CONT. AROUND PERIMETER (under slab where less than 2'-0" below grade where required, or applied to int. face of fndn. wall in crawlspaces)
 23. CULTURED STONE VENEER BASE C/W TAPERED CONC. OR WD. (installed to manuf. spec) LIME BASED MORTER ON WIRE LATHE ON 2 LAYERS 30 MIN. BUILDING PAPER ON 7/16" PLYWOOD SHEATHING OR EQ. ON 2" X 4" FURRING AS REQUIRED COLUMNS & BASE. NOT IN SECTION

Owner, Gen. & Sub Contractor to Verify And Thoroughly Review All Aspects Of Plan Prior To Starting Work And Report Any Discrepancies Immediately To Building Designer. Building Designer Not Liable For Losses Of Any Kind For Failure To Report Discrepancies Prior To Starting Work Or Chances Made To Plan During Construction.

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PROFESSIONAL SEALS

Consultants

List of Drawings

| A1 | Site Plan |
|----|-----------------------------|
| A2 | Foundation/First Floor Plan |
| A3 | Second Floor Plan/Roof |
| A4 | Elevations |
| A5 | Cross Section |
| A6 | Details |

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| DRAWN | NO. |
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PROJECT
PROPOSED DWELLING
GARAGE
P/L 002-344,463
HER RE DUNCA PC
ARE JURISDICTION ROLL
04-315-05164.001

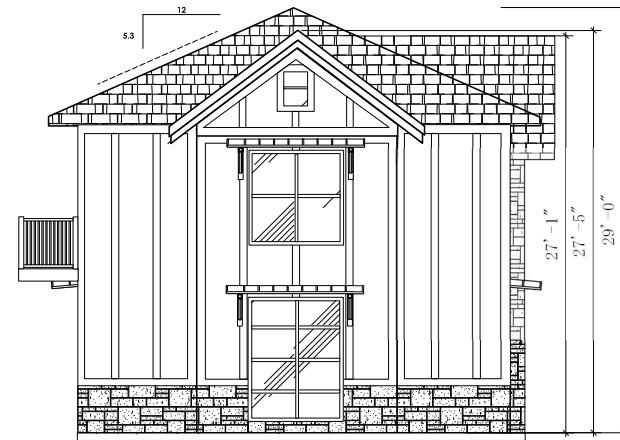


Front Garage Elevation

Scale: 1/4" = 1'-0"

2

A4

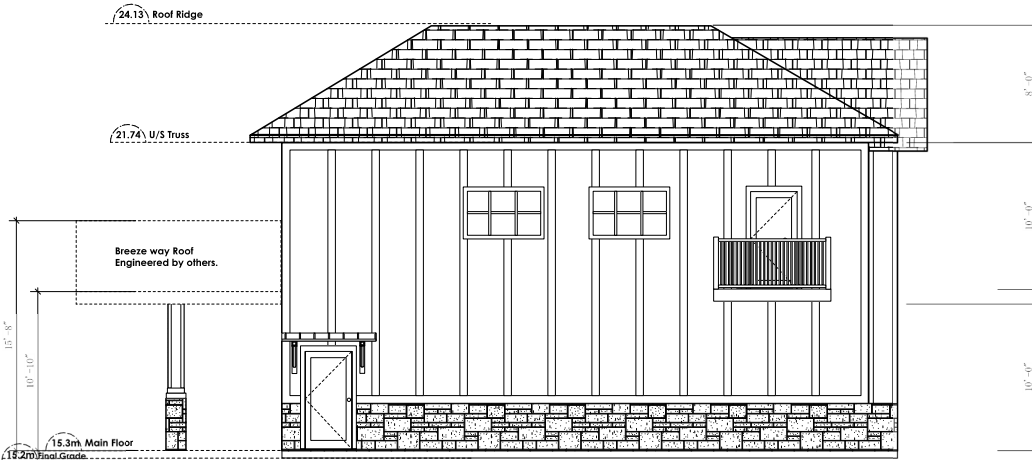


Right Garage Elevation

Scale: 1/4" = 1'-0"

1

A4

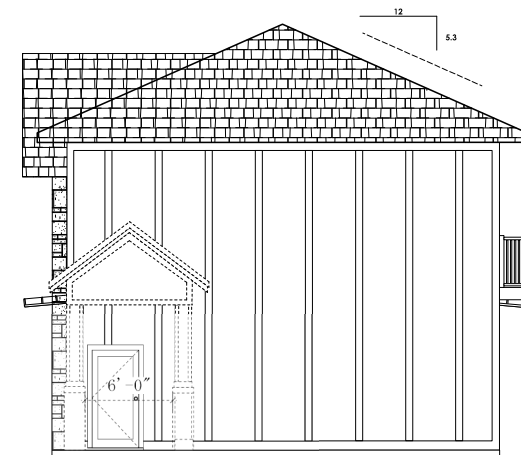


Back Garage Elevation

Scale: 1/4" = 1'-0"

4

A4



Left Garage Elevation

Scale: 1/4" = 1'-0"

3

A4

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PROFESSIONAL SEALS

Consultants

List of Drawings

| | |
|----|-----------------------------|
| A1 | Site Plan |
| A2 | Foundation/First Floor Plan |
| A3 | Second Floor Plan/Roof |
| A4 | Elevations |
| A5 | Cross Section |
| A6 | Details |

ISSUED/REVISED

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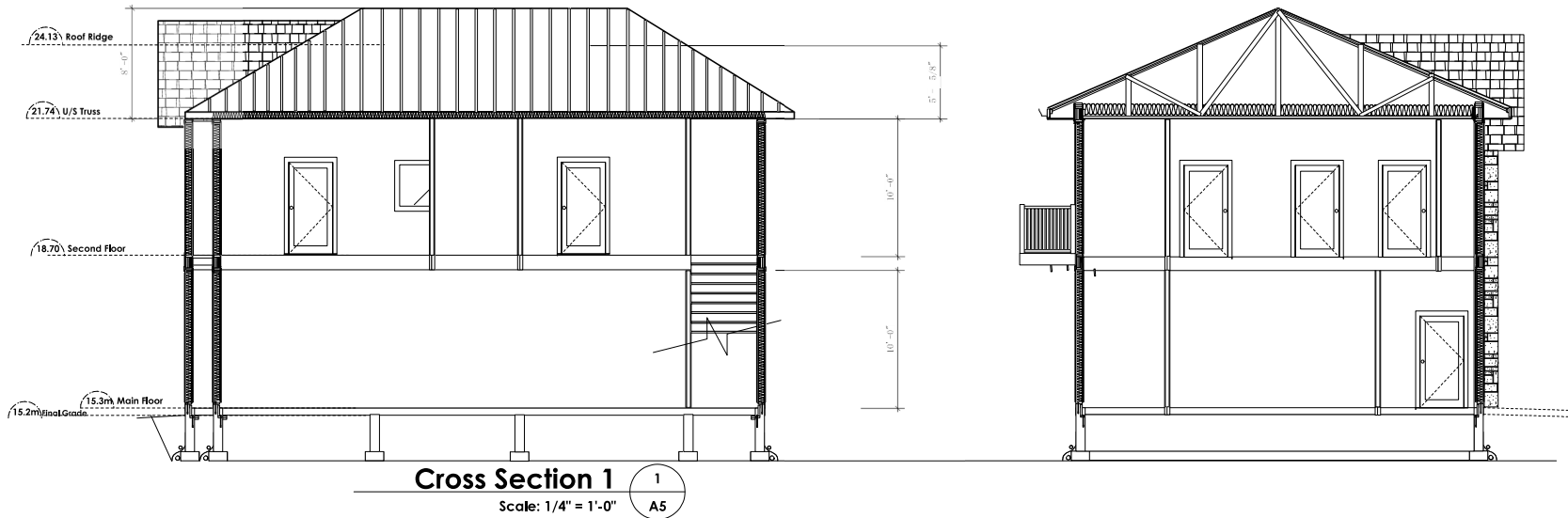
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| DRAWING NO. | DATE |
|-------------|----------|
| SHO. 4 OF 6 | |
| SCALE | DRAWN BY |
| 1:48 | A. Shota |
| REVIEWED BY | |

| PROJECT |
|-------------------------|
| PROPOSED DWELLING |
| GARAGE 1 |
| P/I: 002-344.463 |
| HER. RE. DUNCA. RC. |
| ARE. JURISDICTION: ROLL |
| 04-315-05164.001 |

**Cross Section 2**

Scale: 1/4" = 1'-0"

2

A5

Roofs

- R1. LAMINATED ASPHALT SHINGLES ON 1/2" PLYWOOD OR EQUAL WD TRUSSES (DESIGNED BY MANUF.)
- R2. LAMINATED ASPHALT SHINGLES ON 1/2" PLYWOOD OR EQUAL ON 2" X 4" STRAPPING @ 16" O/C ON 2" X 10" ROOF JOISTS @ 16" O/C
- R3. PROVIDE 2 1/2" CLEAR BETWEEN R-40 INSULATION AND SHEATHING. (min. R-20 @ roof-wall connection)
- R4. PROVIDE 1 SQ. FT. ATIC VENT PER 300 (150) SQ. FT. MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM
- R5. PRE-FIN. ALUMINUM FASCIA GUTTER 2" X 4" SUB. FASCIA BD. VENTED SOFFIT (verify material)

Ceilings

- C1. 5/8" GYPSUM BOARD ON 6 MIL POLY'N V.B. ON C/W R-40 F/R BATT INSUL'N U/S OF WD TRUSSES (by manuf.)
- C2. 1/2" GYPSUM BOARD ON 6 MIL POLY'N V.B. ON U/S OF ROOF JOISTS
- C3. 1/2" GYPSUM BOARD ON U/S OF FLOOR JOISTS
- C4. 5/8" GYPSUM BOARD ON U/S OF FLOOR JOISTS
- C5. 5/8" GYPSUM BOARD ON U/S OF FLOOR JOISTS
- C6. 1/2" GYPSUM BOARD ON U/S OF FLOOR JOISTS
- C7. 5/8" GYPSUM BOARD ON U/S OF FLOOR JOISTS
- C8. 1/2" GYPSUM BOARD ON U/S OF FLOOR JOISTS
- C9. 5/8" GYPSUM BOARD ON U/S OF FLOOR JOISTS
- C10. 1/2" GYPSUM BOARD ON U/S OF FLOOR JOISTS

Floors & Walls

- FL1. FINISHED FLOORING ON 3/4" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) 2"X10" FLOOR JOISTS @ 16" OR 12" O/C C/W X BRIDGING @ 84" O/C MAX ON (refer to floor plans)
- FL2. 3.5" CONC SLAB ON 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL3. 3.5" CONC SLAB ON 6 MIL POLY'N V.B. 6" COMPACTED GRAVEL OR SAND (1:50 MIN SLOPE TO DOOR)
- FL4. 2.0" CONC TOPPING ON 2 FLY TORCH ON ROOFING ON 3/4" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) 2"X10" FLOOR JOISTS @ 16" O/C C/W SPRAY FOAM INSULATION ON 1/2" GYPSUM BOARD
- W1. CONC. FIBER BOARD OR CEDAR SHINGLE SIDING ON 19mm (3/4") AIR SPACE / P.T. WOOD STRAPPING ON 2 LAYERS 30 MIN. BUILDING PAPER ON 1/2" PLYWOOD SHEATHING OR EQ. ON 2" X6" STUDS @ 16" O/C (refer to details on D1)
- W2. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2"X4" STUDS @ 16" O/C OR 2"X6" STUDS @ 16" O/C (refer to floor plan for thickness)
- W3. 1/2" GYPSUM BOARD ON 6 MIL POLY'N V.B. ON 2"X4" FURRING (on flat) @ 16" O/C C/W R-12 RIGID INSULATION.
- W4. 5/8" X TYPE GYPSUM BOARD ON (garage side) 6 MIL POLY'N V.B. ON 2"X6" STUDS @ 16" O/C C/W R-20 RIGID INSULATION 1/2" GYPSUM BOARD (living side)
- W5. 1/2" GYPSUM BOARD ON 6 MIL POLY'N V.B. ON 2"X6" STUDS @ 16" O/C C/W R-12 RIGID INSULATION.
- W6. DOUBLE GLAZING IN THERMAL BREAK FRAMES 2"X10" LINTEL OVER (TYPICAL) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) ALL WINDOWS TO COMPLY WITH B.C. BLDG. CODE 2006 9.7.2.1 (1) b. A-9.7.2.1(1) & A-9.7.4.1(1) WINDOW RATINGS ("A.B.C. & F") MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION

Foundation Walls

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS (SEE STRUCTURAL ENG) ON UNDISTURBED SOIL (SOLID BEARING)
- F2. 16"X 8" CONC. FOOTINGS C/W 2 # 4 BARS CONT. 3 IN. FROM BOTT. ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS #4.0 FT. o/c MAX c/w SILL GASKETS
- F5. R-12 RIGID INSULATION FOR 2'-0" CONT. AROUND PERIMETER (under slab where less than 2'-0" below grade where required, or applied to int. face of fndn. wall in crawlspaces)

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PROFESSIONAL SEALS**Consultants****List of Drawings**

| | |
|----|-----------------------------|
| A1 | Site Plan |
| A2 | Foundation/First Floor Plan |
| A3 | Second Floor Plan/Roof |
| A4 | Elevations |
| A5 | Cross Section |
| A6 | Details |

ISSUED/REVISED

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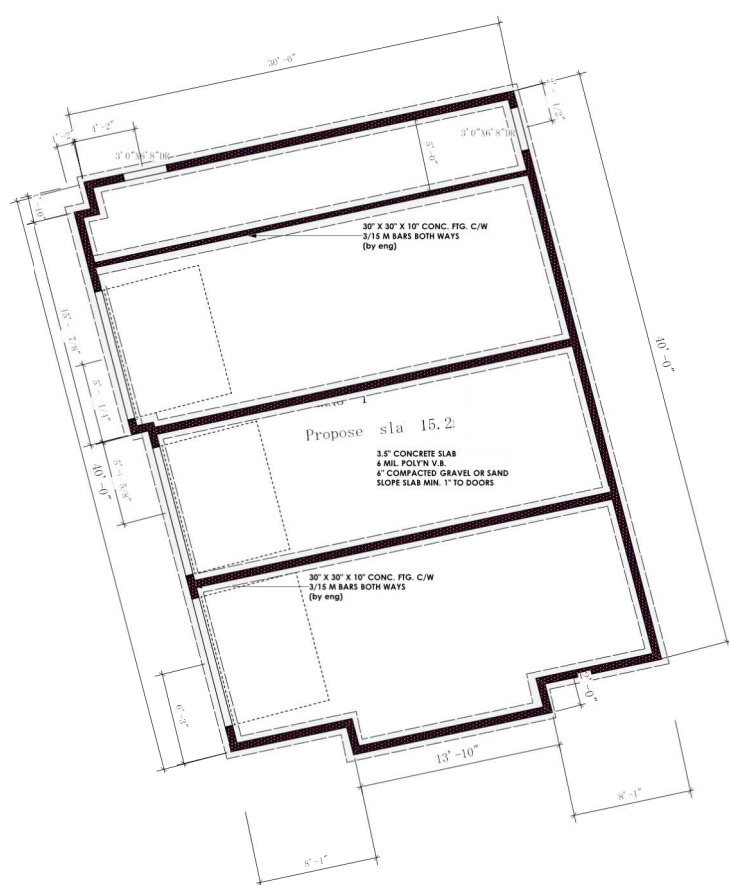
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| NO. | 5 OF 6 |
| DATE | |
| SCALE | 1:48 |
| DRAWN | A. Shota |
| REVIEWED BY | |

PROJECT
PROPOSED DWELLING
GAPAC 2
P/I 002-344.463
HER RE DUNCA PC
ARE JURISDICTION - ROLL
04-315-05164.001

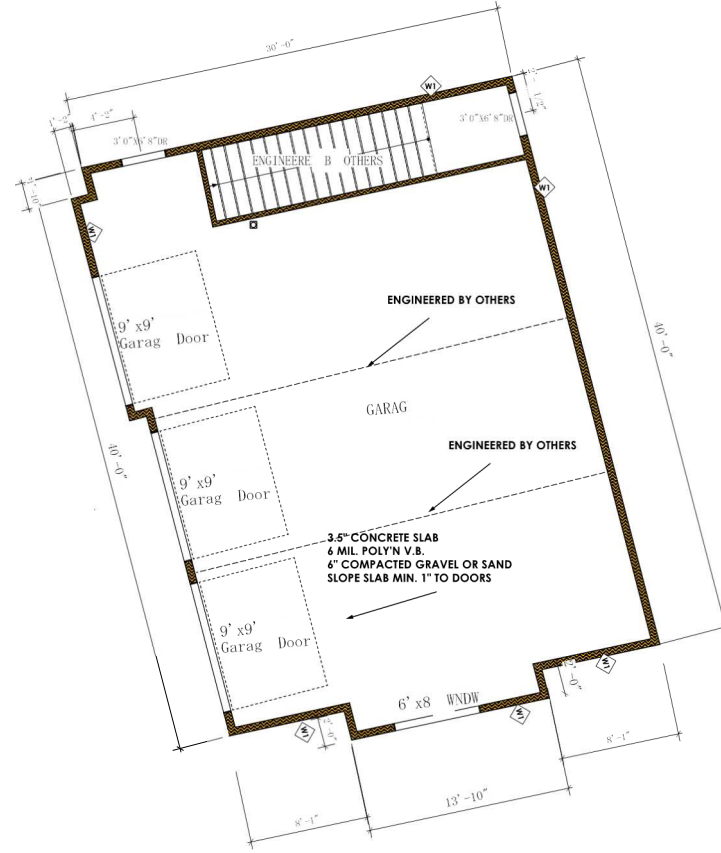


Foundation Plan

Scale: 1/4" = 1'-0"

1

A2



Main Floor Plan

Scale: 1/4" = 1'-0"

2

A2

HEA PUMP

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Truss Manufacturer To Review Plans To Verify Roof Design Where Eng. Roof Trusses Are Shown, And To Contact Building Designer To Advise If Revisions Are Necessary.

PROFESSIONAL SEALS

Consultants

List of Drawings

| | |
|----|-------------------|
| A1 | Site Plan |
| A2 | Foundation Plan |
| A3 | First Floor Plan |
| A4 | Second Floor Plan |
| A5 | Roof Plan |
| A6 | Elevations |
| A7 | Cross Section |
| A8 | Details |

ISSUED/REVISED

| NO. | DATE | DESCRIPTION |
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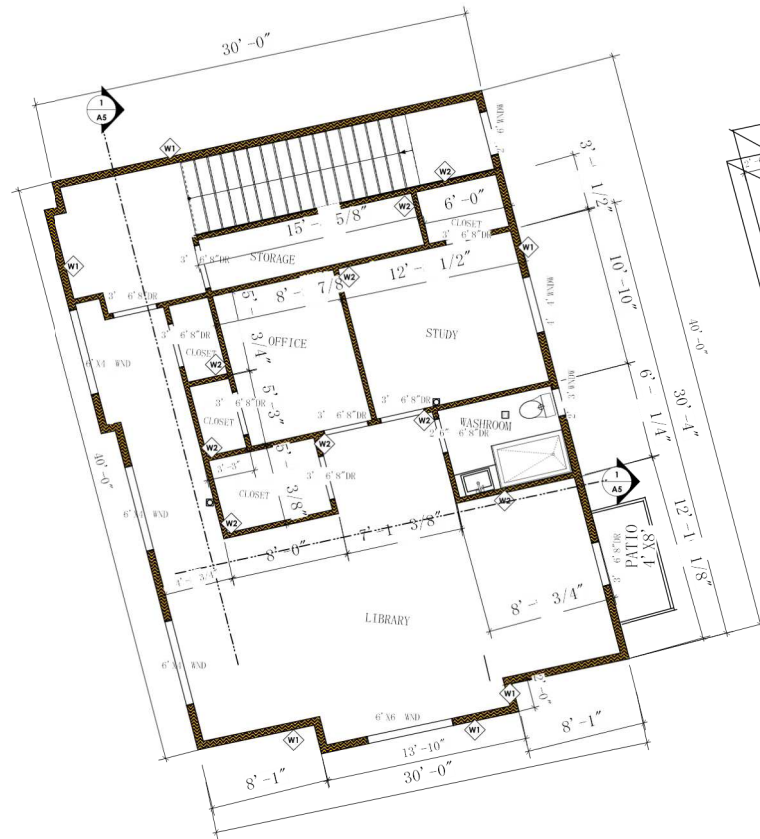
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| | |
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| OWNER NO. | |
| DATE | 20/2021 |
| SCALE | 1:48 |
| DRAWN | |
| REVIEWED BY | |

PROJECT

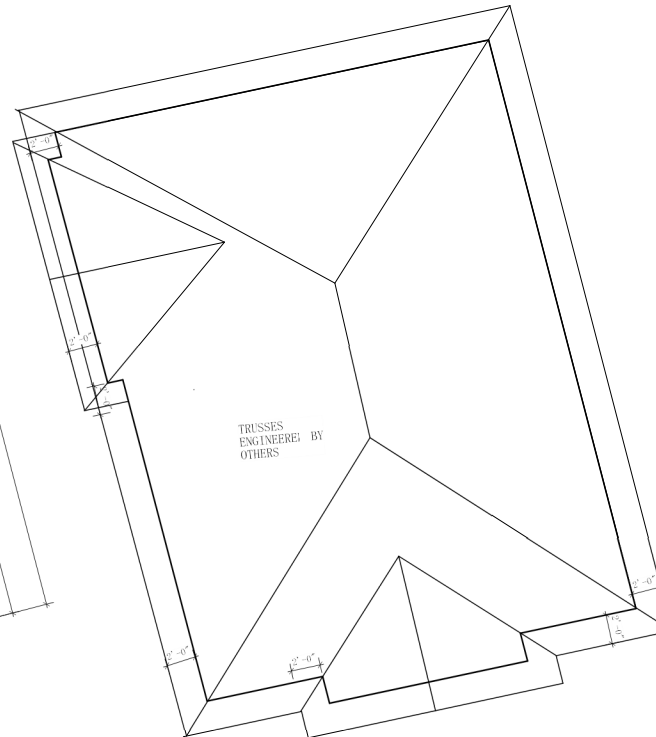
PROPOSED NEW DWELLING
PI: 00A-344-463
HE: RL DUNCA RC
ARE: JURISDICTION ROLL
04-315-05164.001

Garage 2 plan

**Second Floor Plan**

Scale: 1/4" = 1'-0"

HEA PUMP

1
A3**Roof Plan**

Scale: 1/4" = 1'-0"

2
A3

1. LAMINATED ASPHALT SHINGLES ON 1/2" PLYWOOD OR EQUAL WD TRUSSES (DESIGNED BY MANUF.)
2. PROVIDE 2" CLEAR BETWEEN R - 40 INSULATION AND SHEATHING. (min. R - 20 @ roof-wall connection)
3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM
5. PRE-FIN. ALUMINUM FASCIA GUTTER 2"X 4" SUB. FASCIA BD. VENTED SOFFIT (see contractor)
6. STEP DOWN TO GARAGE SLAB MAY VARY, VERIFY EXTENT ON SITE
7. FINISHED GRADE
8. 5/8" GYPSUM BOARD 4 MIL POLY'N V.B. ON U.S. OF WD. TRUSSES
9. CONC. FBRE SBING ON 19mm (3/4") AIR SPACE / P.T. WOOD STRAPPING (refer to elevations for exterior fin & refer to details sheet) (D1) for rain screen wall application) 2 LAYERS 30 MIN. BUILDING PAPER ON 7/16" PLYWOOD SHEATHING OR EQ. ON 2"X4" STUDS @ 16" O.C.
10. 1/2" GYPBD. ON C/W 4 MIL POLY'N. & R-20 INSULATION
11. DOUBLE GLAZING IN THERMAL BREAK FRAMES 2/2"X10" UNTEL OVER (TYPICAL) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 R. of exterior doors to be shatterproof (SP)) ALL WINDOWS TO COMPLY WITH B.C. BLDG. CODE 2004 9.7.2.1 (1) b. WINDOW RATINGS (A.B.C. & F) MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION
12. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2"X 4" STUDS @ 16" o/c
13. 5/8" X TYPE GYPSUM BOARD (on garage side) ON 2"X4" STUDS @ 24" o/c C/W R-20 INSULN (between garage & living) 1/2" GYPSUM BOARD (on living side)
14. FINISHED FLOORING ON 5/8" T & G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2" X 10" FLOOR JOISTS @ 12" or 16" O/C (refer to floor plans for spacing) C/W 2" X 2" X-8 BRIDGING @ 1/2 SPAN
15. 3 1/2" CONCRETE SLAB ON 4" COMPACTED GRANULAR FILL VERIFY FINISH WITH OWNER

Owner, Gen. & Sub Contractor To Verify And Thoroughly Review All Aspects Of Plan Prior To Starting Work And Report Any Discrepancies Immediately To Building Designer. Building Designer Not Liable For Losses Of Any Kind For Failure To Report Discrepancies Prior To Starting Work Or Changes Made To Plan During Construction.

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Truss Manufacturer To Review Plans To Verify Roof Design Where Eng. Roof Trusses Are Shown. And To Contact Building Designer To Advise If Revisions Are Necessary

PROFESSIONAL SEALS**Consultants****List of Drawings**

| NO. | DESCRIPTION |
|-----|-----------------------------|
| A1 | Site Plan |
| A2 | Foundation/First Floor Plan |
| A3 | Second Floor Plan/Roof |
| A4 | Elevations |
| A5 | Cross Section |
| A6 | Details |

ISSUED/REVISED

| NO. | DATE | DESCRIPTION |
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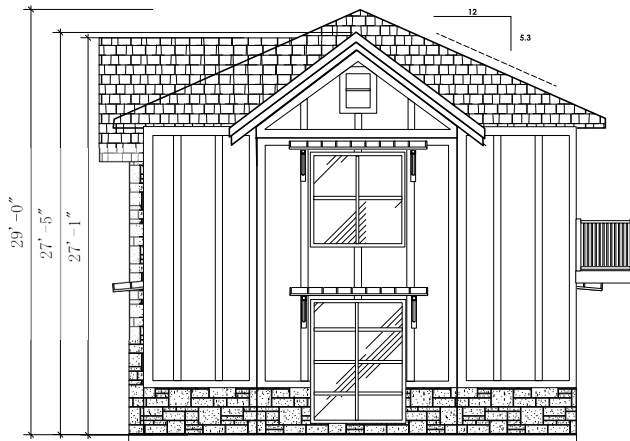
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Truss Manufacturer to review plans to verify roof design where eng. roof trusses are shown, and to contact building designer to advise if revisions are necessary.

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| NO. | DATE |
|-------------|----------|
| SHV. NO. | 2 OF 6 |
| DATE | |
| SCALE | 1:48 |
| DRAWN BY | A. Shota |
| REVIEWED BY | |

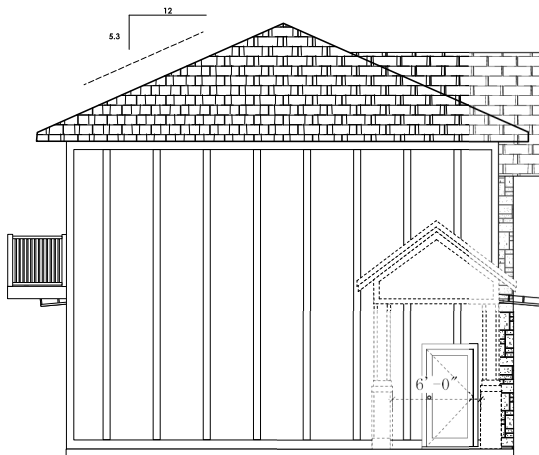
PROJECT
PROPOSED DWELLING
SAPAC 2
P/J 002-344.463
HER RE DUNCA PC
ARE JURISDICTION - ROLL
04-315-05164.001



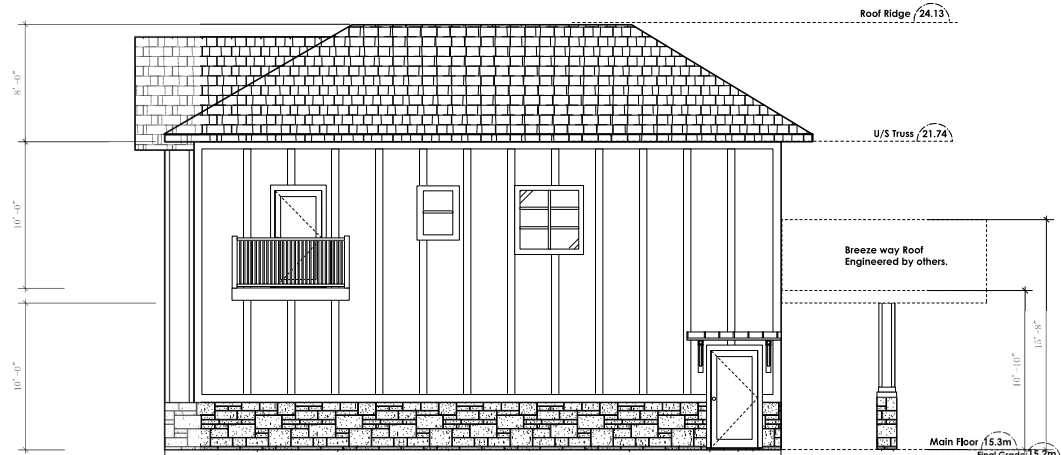
1 **Right Garage Elevation**
A4 Scale: 1/4" = 1'-0"



2 **Front Garage Elevation**
A4 Scale: 1/4" = 1'-0"



3 **Left Garage Elevation**
A4 Scale: 1/4" = 1'-0"



4 **Back Garage Elevation**
A4 Scale: 1/4" = 1'-0"

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PROFESSIONAL SEALS

Consultants

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ISSUED/REVISED

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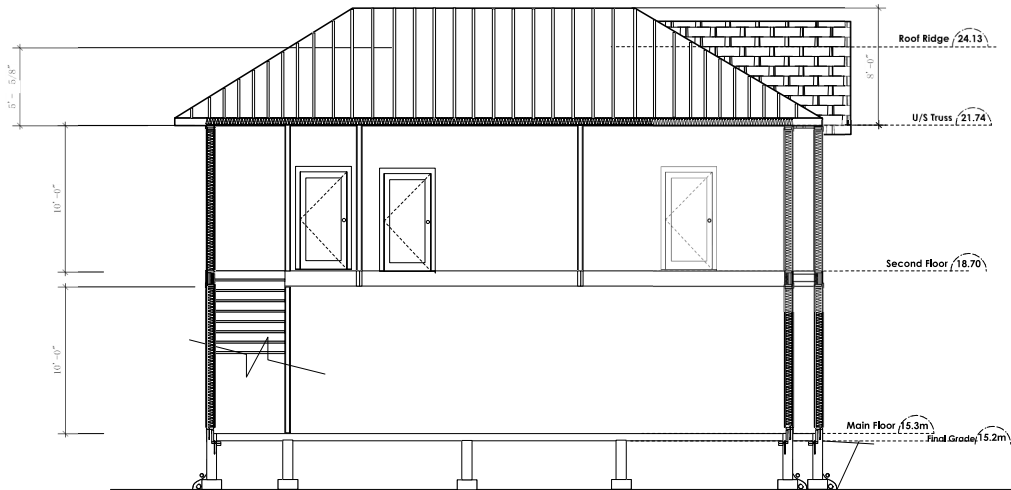
Note: E.C.I.S. to verify placement and siting of all structures on lot. General Contractor to work in conjunction with E.C.I.S. to ensure proper placement of structures on site prior to starting work. Building Designer not responsible for any encroachments of any kind with regard to siting or placement of structures on lot.

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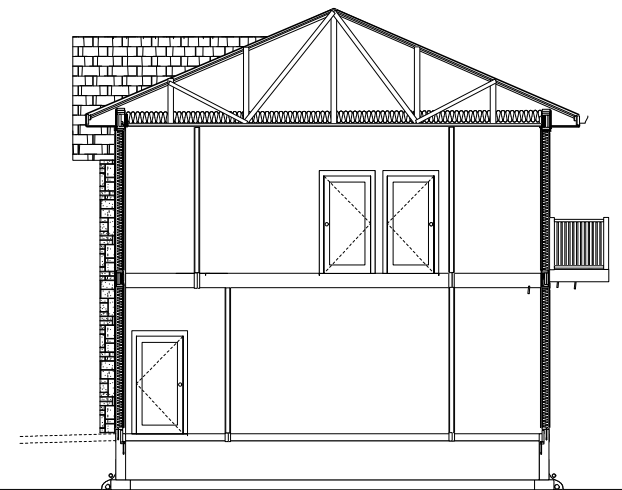
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| DRAWN | NO. |
| DATE | 4 OF 6 |
| SCALE | 1:48 |
| DRAWN | A. Shota |
| REVIEWED BY | |

PROJECT
PROPOSED DWELLING
GARAGE 2
P/L 002-344.463
HER RE DUNCA RD
ARE. JURISDICTION - ROLL
04-315-05164.001

**1 Cross Section 1**

Scale: 1/4" = 1'-0"

**2 Cross Section 2**

Scale: 1/4" = 1'-0"

Foundation Walls

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS. (SEE STRUCTURAL ENG) ON UNDISTURBED SOIL(SOLID BEARING)
- F2. 16"X 8" CONC. FOOTINGS C/W 2 # 4 BARS CONT. 3 IN. FROM BOT. ON UNDISTURBED SOIL(SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @4.0 FT. o/c MAX c/w SILL GASKETS
- F5. R-12 RIGID INSULATION FOR 2'-0" CONT. AROUND PERIMETER (under slab where less than 2'-0" below grade where required, or applied to int. face of fdn. wall in crawlspaces)
- W2. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2'X 4" STUDS @ 16" O/C OR 2'X 6" STUDS @ 16" O/C (refer to floor plan for thickness)
- W3. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. ON 2'X 4" FURRING (on 8ft) @ 16" O/C C/W R-12 RIGID INSULATION.
- W4. 5/8" X TYPE GYPSUM BOARD ON (garage side) 6 MIL. POLY'N V.B. ON 2'X 6" STUDS @ 16" O/C C/W R-20 RIGID INSULATION 1/2" GYPSUM BOARD (living side)
- W5. 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. ON 2'X 6" STUDS @ 16" O/C C/W R-20 RIGID INSULATION.
- W6. DOUBLE GLAZING IN THERMAL BREAK FRAMES 2/2'X10" LINTEL OVER (TYPICAL) FLASHING OVER @ EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP)) ALL WINDOWS TO COMPLY WITH B.C. BLDG. CODE 2006 9.7.2.1 (1) b, A-9.7.2.1(1) & A-9.7.6.1.(1) WINDOW RATINGS (A,B,C & F) MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION

Floors & Walls

- F1. FINISHED FLOORING ON 3/4" T& G PLYWOOD OR EQ. (nailed & glued to floor struct. below) 2'X10" FLOOR JOISTS @ 16" OR 12" O/C C/W X BRIDGING @ 84" O/C MAX ON (refer to floor plans)
- F2. 3.5" CONC SLAB ON 6 MIL. POLY'N V.B 6" COMPACTED GRAVEL OR SAND
- F3. 3.5" CONC SLAB ON 6 MIL. POLY'N V.B 6" COMPACTED GRAVEL OR SAND (1:50 MIN SLOPE TO DOOR)
- F4. 2.0" CONC TOPPING ON 2 PLY TORCH ON ROOFING ON 3/4" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) 2'X10" FLOOR JOISTS @ 16" O/C C/W SPRAY FOAM INSULATION ON 1/2" GYPSUM BOARD
- W1. CONC. FIBER BOARD OR CEDAR SHINGLE SIDING ON 19mm (3/4") AIR SPACE / P.T. WOOD STRAPPING ON 2 LAYERS 30 MIN. BUILDING PAPER ON 1/2" PLYWOOD SHEATHING OR EQ. ON 2'X6" STUDS @ 16" O/C (refer to details on D1)

Ceilings

- C1. 5/8" GYPSUM BOARD ON 6 MIL POLY'N V.B. ON C/W R 40 F/B BATT INSULN U/S OF WD TRUSSES (by manuf.)
- C2. 1/2" GYPSUM BOARD ON 6 MIL POLY'N V.B. ON U/S OF ROOF JOISTS
- C2. 1/2" GYPSUM BOARD ON U/S OF FLOOR JOISTS
- C3. 5/8" GYPSUM BOARD ON U/S OF FLOOR JOISTS C/W R-28 F/G INSULATION IN JOIST CAVITY
- C4. PROVIDE R-28 F/G INSULATION IN JOIST CAVITY C/W VENTED SOFFT (to contractor spec's) TO ALL SUSPENDED FLOOR AREAS

Roofs

- R1. LAMINATED ASPHALT SHINGLES ON 1/2" PLYWOOD OR EQUAL WD TRUSSES (DESIGNED BY MANUF.)
- R2. LAMINATED ASPHALT SHINGLES ON 1/2" PLYWOOD OR EQUAL ON 2" X 4" STRAPPING @ 16" O/C ON 2" X 10" ROOF JOISTS @ 16" O/C
- R2. PROVIDE 2 1/2" CLEAR BETWEEN R - 40 INSULATION AND SHEATHING. (min. R - 20 @ roof-wall connection)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL.
- R4. PROVIDE 1 SQ.FT. ATTC VENT PER 300 (150) SQ.FT. MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM
- R5. PRE- FN. ALUMINUM FASCIA GUTTER 2"X 4" SUB. FASCIA BD. VENTED SOFFT (verify material)

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| A5 | Cross Section |
| A6 | Details |

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| NO. | DATE | DESCRIPTION |
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| | |
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| DRWG NO. | 5 OF 6 |
| DATE | |
| SCALE | 1:48 |
| DRAWN | A. Shota |
| REVIEWED BY | |

| | |
|---------|-------------------------|
| PROJECT | PROPOSED DWELLING |
| | GAFAG 2 |
| | PJ# 002-344,463 |
| | HER RE DUNCA RC |
| | ARE. JURISDICTION: ROLL |
| | 04-315-05164.001 |

The Corporation of the District of North Cowichan7030 Trans Canada Highway
Duncan, BC V9L 6A1

Building Department

Phone: 250-746-3100 Fax: 250-746-3154

BUILDING PERMITPermit #: **BP009496**

Folio: 05164-001

Issued Date:

Permit Type: **SINGLE FAMILY DWELLING - NEW**

Description: THIS PERMIT IS FOR SINGLE FAMILY DWELLING WITH 2 GARAGES SUPERVISED BY STRUCTURAL ENGINEER

Address: **2441 HERD RD**

Legal: SEC 9 RGE 7 SOM PL DD 67328I

Zone: A1 AGRICULTURAL ZONE

P.I.D. 008-334-463

Applicant: MUDHAR ASPYR HOMES INC. (DBA ASPYR HOMES / ASPYR PRO Phone: 604-505-8954

Address: 16787 20A AVENUE SURREY, BC V3Z 1H1

Owner:

Address:

Builder: MUDHAR ASPYR HOMES INC. (DBA ASPYR HOMES / ASPYR PRO Phone: 604-505-8954

Address: 16787 20A AVENUE SURREY, BC V3Z 1H1

| Description | Quantity | Amount | Description | Quantity | Amount |
|-----------------|--------------|----------|-----------------|--------------|---------|
| Bp Eng Driveway | 1.00 | 25.00 | Bp Eng Sweep | 1.00 | 50.00 |
| Bp Fees | 1,021,130.00 | 7,497.91 | Bp Fixtures | 28.00 | 352.80 |
| Bp Plumb Water | 1.00 | 31.50 | P Eng Reduction | 1,021,130.00 | -749.79 |
| Bp Eng Damclean | 1.00 | 500.00 | | | |

Total: \$7,707.42**Building Information:**

TYPE OF IMPROVEMENT: NEW

FLOOR AREA RATIO (%): 1.8

CONSTRUCTION VALUE: 1,021,130.00

SITE COVERAGE (%): 1.33

Special Conditions:

- * The Municipality of North Cowichan is not obliged to issue any building permit final or occupancy until the conditions of all registered North Cowichan covenants, related to the development of the property are complied with, including the return of any covenant related bonding.
- * The Municipality of North Cowichan will not be responsible for any errors, deficiencies and omissions in this plan information.
- * Noise associated with erecting, demolishing altering, or repairing of any building or structure, or the excavation of any land, street, highway, or lane prior to 7:00 am or after 8:00 pm on Monday to Saturday inclusive, or prior to 9:00 am or after 6:00 pm on Sundays in such a manner as to disturb the quiet, peace, rest, enjoyment, comfort, or convenience of any person or persons in the neighbourhood or vicinity.
- * Neither the granting of a permit nor the approval of the relevant drawings and specifications nor the inspections made by the Municipality of North Cowichan shall in any way relieve the owner of such a building from full responsibility for the carrying out of work or having work carried out in full accordance with the requirements of the B.C.B.C. 2018.
- * Plans have been reviewed for general conformance. It is the designers responsibility for accuracy, adequacy and all code requirements.
- * The following is specifically prohibited: Noise associated with erecting, demolishing, altering, or repairing of any building or structure, or the excavation of any land, street, highway, or lane prior to 7:00 a.m. or after 8:00 p.m. on Monday to Saturday, inclusive, or prior to 9:00 a.m. or after 6:00 p.m. on Sundays in such a manner as to disturb the quiet, peace, rest, enjoyment, comfort, or convenience of any person or persons in the neighborhood or vicinity;
- * This permit expires and the right of an owner shall terminate, if the work is not commenced within 6 months, or if the work is not completed within 24 months of the date of issue of the permit.
- * Contractor shall be prime contractor while working within road right of way.

The Corporation of the District of North Cowichan

7030 Trans Canada Highway
Duncan, BC V9L 6A1

Building Department

Phone: 250-746-3100 Fax: 250-746-3154

BUILDING PERMIT

Permit #: **BP009496**

Folio: 05164-001

Issued Date:

This permit expires and the right of an owner shall terminate, if the work is not commenced within 6 months, or if the work is not completed within 24 months of the date of issue of the permit. All Construction shall conform to the current edition of the B.C. Building Code and approved drawings issued with the Application For Permit For Erection, Alteration, or Repair of a Building. No deviation from these drawings, including site plans, shall be made without authorization being given subject to the same procedures established for the examination of the original plans.

The department reserves the right to reject any work which has been concealed or completed without first having been inspected and approved by the department in accordance with the requirements of the various codes.

Applicant:

DocuSigned by:

Vic Mudhar

41EED9D97C1F45D...

Building Inspector:

DocuSigned by:

Tim Byron

DE1692743BC947D...

FEE SLIP

Please remit with payment.

Folder: BP009496

DISTRICT OF NORTH COWICHAN
7030 Trans-Canada Highway
Duncan BC V9L 6A1
PH # 250 746-3100

BUILDING PERMITS
SINGLE FAMILY DWELLING - NEW

| Summary | Outstanding |
|---------------|-------------------|
| Building Fees | 7,207.42 |
| Deposits | 500.00 |
| TOTAL | \$7,707.42 |

Receipt: 21866/1
Dated: Apr 29, 2022
Station: CASHDEV/LINDSAY BYSTERVELD

Apr 29, 2022
04:13:56 PM

| | | |
|--------|----------|----------|
| CDPMT | BP009496 | 7,207.42 |
| DEPCSH | BP009496 | 500.00 |
| ISSUED | BP009497 | 0.00 |
| CDPMT | BP009497 | 217.80 |

Total 7,925.22
CHEQUE KULLAR, SALINDER & T -7,925.22

Thank you for your payment

Corporation of the District of North Cowichan

7030 Trans-Canada Highway
Duncan, BC V9L 6A1
Phone: 250-746-3100
Fax: 250-746-3133

Folder: BP009496

BUILDING PERMITS

SINGLE FAMILY DWELLING - NEW

Address: 2441 HERD RD

| Description | Quantity | Amount | Description | Quantity | Amount |
|-----------------|--------------|----------|-----------------|--------------|---------|
| Bp Eng Driveway | 1.00 | 25.00 | Bp Eng Sweep | 1.00 | 50.00 |
| Bp Fees | 1,021,130.00 | 7,497.91 | Bp Fixtures | 28.00 | 352.80 |
| Bp Plumb Water | 1.00 | 31.50 | P Eng Reduction | 1,021,130.00 | -749.79 |
| Bp Eng Damclean | 1.00 | 500.00 | | | |

| Summary | Amount | Received | Outstanding |
|---------------|-----------------|-------------|-----------------|
| Building Fees | 7,207.42 | 0.00 | 7,207.42 |
| Deposits | 500.00 | 0.00 | 500.00 |
| TOTAL | 7,707.42 | 0.00 | 7,707.42 |

PAY TO THE
ORDER OF

District of North Cowichan
Seven Thousand Nine Hundred Twenty Five 25/100 DOLLARS \$ 7925.22

DATE 2022-04-25
Y Y Y Y M M D D

MEMO

building permits BP009496

Security features
included.
Details on back.