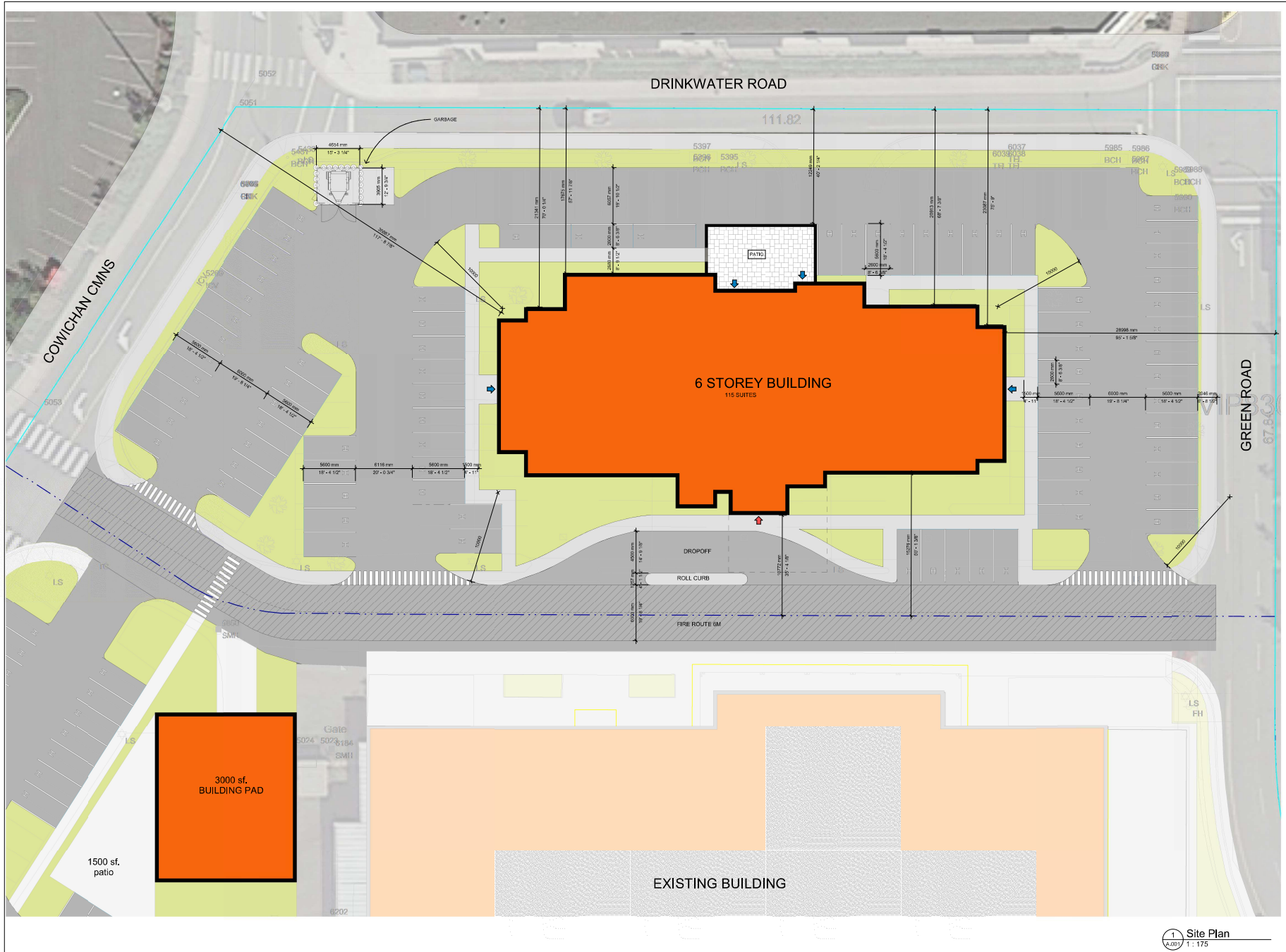


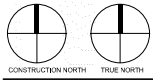


Chamberlain Architect  
Services Limited  
4571 Pallisium Way (Unit 1)  
Burlington, Ontario, L7M 0W9  
CANADA  
Phone: 905.631.7777  
www.chamberlainIPD.com

NO.	ISSUED	DATE



DO NOT SCALE DIMENSIONS. USE ONLY DIMENSIONS  
INDICATED. VERIFY ALL DIMENSIONS ON SITE BEFORE  
CONSTRUCTION. DIMENSIONS MAY VARY SLIGHTLY  
DUE TO FIELD CONDITIONS. DIMENSIONS SHALL  
BE THE GOVERNING DIMENSIONS. DIMENSIONS  
SHOWN ARE CONSTRUCTION DIMENSIONS AND  
MAY VARY FROM FINISHED DIMENSIONS.  
CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS  
DESIGNED AND CONSTRUCTED THIS PROJECT AND  
HAS NOT CONDUCTED A VISUAL IMPACT  
ASSESSMENT. VISUAL IMPACT ASSESSMENT IS  
NECESSARY AND SHOULD BE CONDUCTED BY  
A QUALIFIED PROFESSIONAL VISUAL IMPACT  
ASSESSMENT CONSULTANT.  
SCALE



**DUNCAN  
FAIRFIELD**

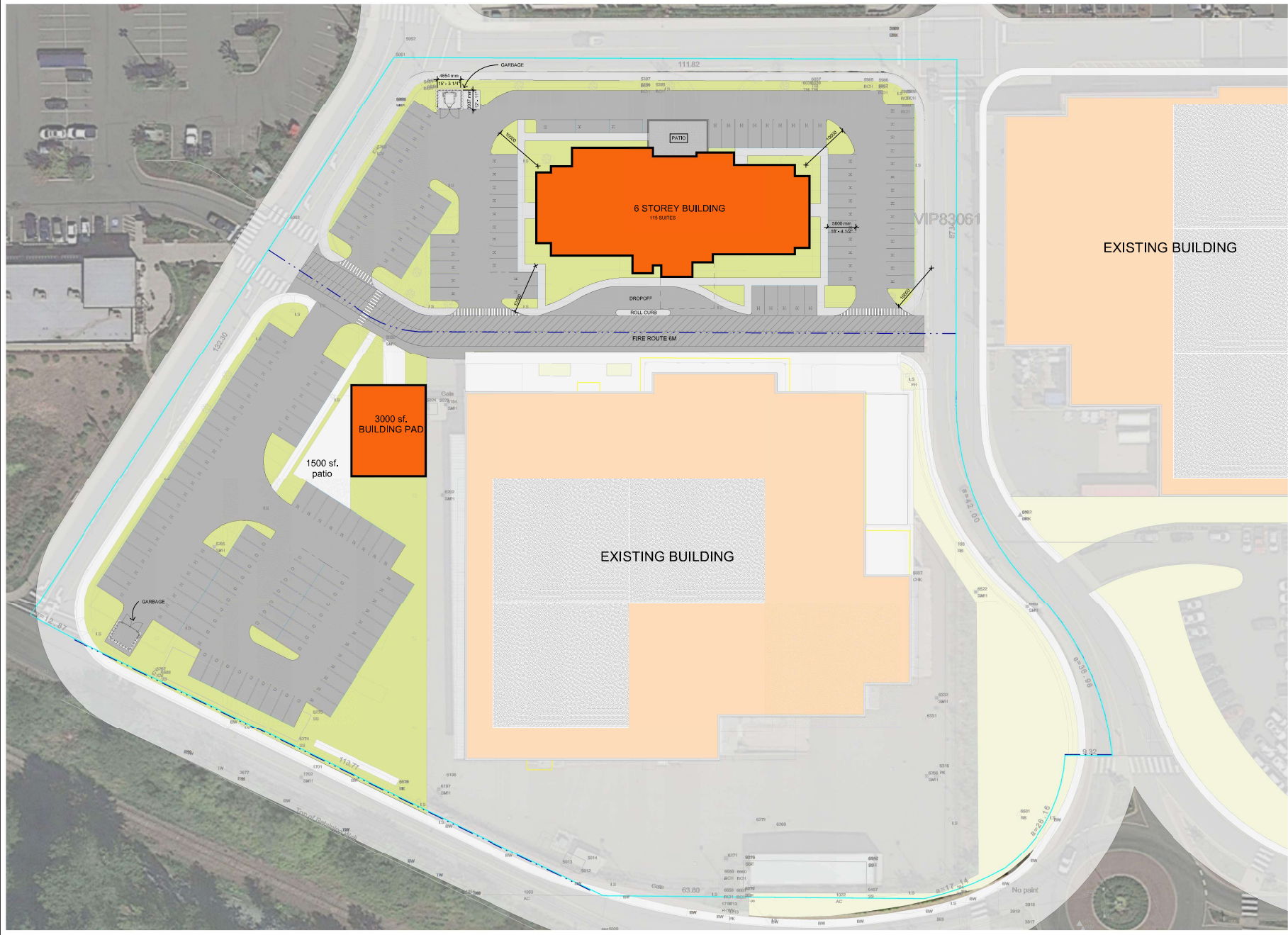
2480 DRINKWATER ROAD

SHEET NAME  
**SITE PLAN**

START DATE	2022/06/06
DRAWN BY	NAL
CHECKED BY	JM
SCALE	1 : 175
PROJECT NO.	122029

DRAWING  
**A.001**

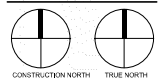
Site Plan  
1 : 175



**Chamberlain Architect**  
 Services Limited  
 4571 Pallisium Way (Unit 1)  
 Burlington, Ontario, L7M 0V9  
 CANADA  
 Phone: 905.631.7777  
 www.chamberlainIPD.com

NO.	ISSUED	DATE

DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS AND DIMENSIONS ON SITE BEFORE CONSTRUCTION. CHAMBERLAIN ARCHITECTS SERVICES LIMITED HAS CONDUCTED VISUAL ANALYSIS AND CONDUCTED VISUAL ANALYSIS. CHAMBERLAIN ARCHITECTS SERVICES LIMITED HAS CONDUCTED VISUAL ANALYSIS AND CONDUCTED VISUAL ANALYSIS. CHAMBERLAIN ARCHITECTS SERVICES LIMITED HAS CONDUCTED VISUAL ANALYSIS AND CONDUCTED VISUAL ANALYSIS.



**DUNCAN FAIRFIELD**  
 2480 DRINKWATER ROAD

**SITE PLAN (ENTIRE SITE)**

START DATE	2022/06/06
DRAWN BY	NAL
CHECKED BY	JM
SCALE	1 : 325
PROJECT NO.	122029

**A.001A**

1 Entire Site Plan  
 1 - 325

**DEFINITIONS:**

**Gross Floor Area**  
 Shall mean the aggregate horizontal area measured from the exterior faces of the exterior walls of all floors of a building (excluding any cellar or floor area having a ceiling height of 2.0 metres or less or devoted exclusively to parking) within all buildings on a lot but shall not include any area devoted to mechanical equipment.  
 (By-law No. 11-276, November 16, 2011)

**Landscape Area Shall mean any portion of a lot which:**  
 a) contains a building thereon;  
 b) is not used for parking, access to parking, driveways or loading space;  
 c) is used for the purpose of landscaping; and,  
 d) landscaped areas may include bell pedestals and light standards but shall not include courier or mail boxes.  
 (By-law No. 11-276, November 16, 2011)  
 (By-law No. 18-213, August 17, 2016)

**Existing Warehouse Parking Calculation**

"warehouse" means the use or intended use of a building, structure or land for storing goods or merchandise  
 "multi-warehousing" means the use of land, buildings, or structures for the business enterprise of storing the personal goods of others in individual fully enclosed storage compartments which are accessible by motor vehicle for loading and unloading  
 -permitted under C2 zoning  
 1 space per 185m<sup>2</sup> of gross floor area

**PARKING REQUIREMENT FOR COMMERCIAL**

580 SF / 185 = 31.71 SPACES (32 SPACES)

**PARKING REQUIREMENT FOR HOTEL**

HOTEL, MOTEL, RESTAURANT, TEA ROOM, CLUB, LICENSED PREMISES - 1 SPACE PER SLEEPING UNIT  
 115 SUITES X 1 SPACE= 115 SPACES

**PARKING REQUIREMENT FOR RESTAURANT**

RESTAURANT = 1.0 PARKING SPACES PER 1m<sup>2</sup> LINED FOR CUSTOMER CIRCULATION AND SEATING  
 OR  
 1 PARKING SPACE PER 4 SEATS

306 SF + 1500sf = 4500sf (418sm / 100m<sup>2</sup> = 20.9 (21))  
 21 PARKING SPACES NEEDED

**TOTAL PARKING REQUIRED**

32 SPACES + 115 SPACES + 21 = 168 SPACES REQUIRED

PARKING SCHEDULE	
COMMENT	COUNT
COMMERCIAL	32
HOTEL	115
RESTAURANT	21
	168

SITE STATISTICS			
DESCRIPTION	AREA (SM)	AREA (SF)	PERCENTAGE
<b>BUILDING FOOTPRINT</b>			
BUILDING FOOTPRINT	1122.35 m <sup>2</sup>	12081 ft <sup>2</sup>	17.8%
	1122.35 m <sup>2</sup>	12081 ft <sup>2</sup>	17.8%
<b>HARD LANDSCAPE</b>			
ASPHALT	3507.92 m <sup>2</sup>	37759 ft <sup>2</sup>	55.8%
SIDEWALK	721.88 m <sup>2</sup>	7770 ft <sup>2</sup>	11.5%
	4229.80 m <sup>2</sup>	45529 ft <sup>2</sup>	67.3%
<b>SOFT LANDSCAPE</b>			
LANDSCAPE	936.00 m <sup>2</sup>	10075 ft <sup>2</sup>	14.9%
	936.00 m <sup>2</sup>	10075 ft <sup>2</sup>	14.9%
	6288.16 m <sup>2</sup>	67685 ft <sup>2</sup>	100.0%



Chamberlain Architect  
 Services Limited  
 4571 Pallisium Way (Unit 1)  
 Burlington, Ontario, L7M 0W9  
 CANADA  
 Phone: 905.631.7777  
 www.chamberlainIPD.com

NO.	ISSUED	DATE

DO NOT SCALE DRAWINGS. USE ONLY DRAWINGS  
 MANUFACTURED BY THE CONSULTANT. ANY  
 COPY PRINTING AND DIMENSIONS ON IT BEFORE  
 BEING USED SHALL BE THE RESPONSIBILITY OF  
 ANY USER. DIMENSIONS ON DRAWINGS  
 CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS  
 CHAMBERLAIN CONSULTATION SERVICES LIMITED  
 HAS BEEN OBTAINED.  
 CHAMBERLAIN ARCHITECT SERVICES LIMITED  
 HAS CONFIDENTIAL INFORMATION AND  
 PROPRIETARY INFORMATION. ANY  
 REPRODUCTION OR DISSEMINATION OF  
 THIS DRAWING WITHOUT THE WRITTEN  
 PERMISSION OF CHAMBERLAIN ARCHITECT  
 SERVICES LIMITED IS PROHIBITED.  
 PROJECT PERFORMANCE IS A SERVICE TO  
 CLIENT PERFORMANCE.

SCALE

DUNCAN  
 FAIRFIELD  
 2480 DRINKWATER ROAD

PROJECT STATS  
 START DATE: 2022/06/06  
 DRAWN BY: NAL  
 CHECKED BY: JM  
 SCALE:  
 PROJECT NO: 122029  
 DRAWING:

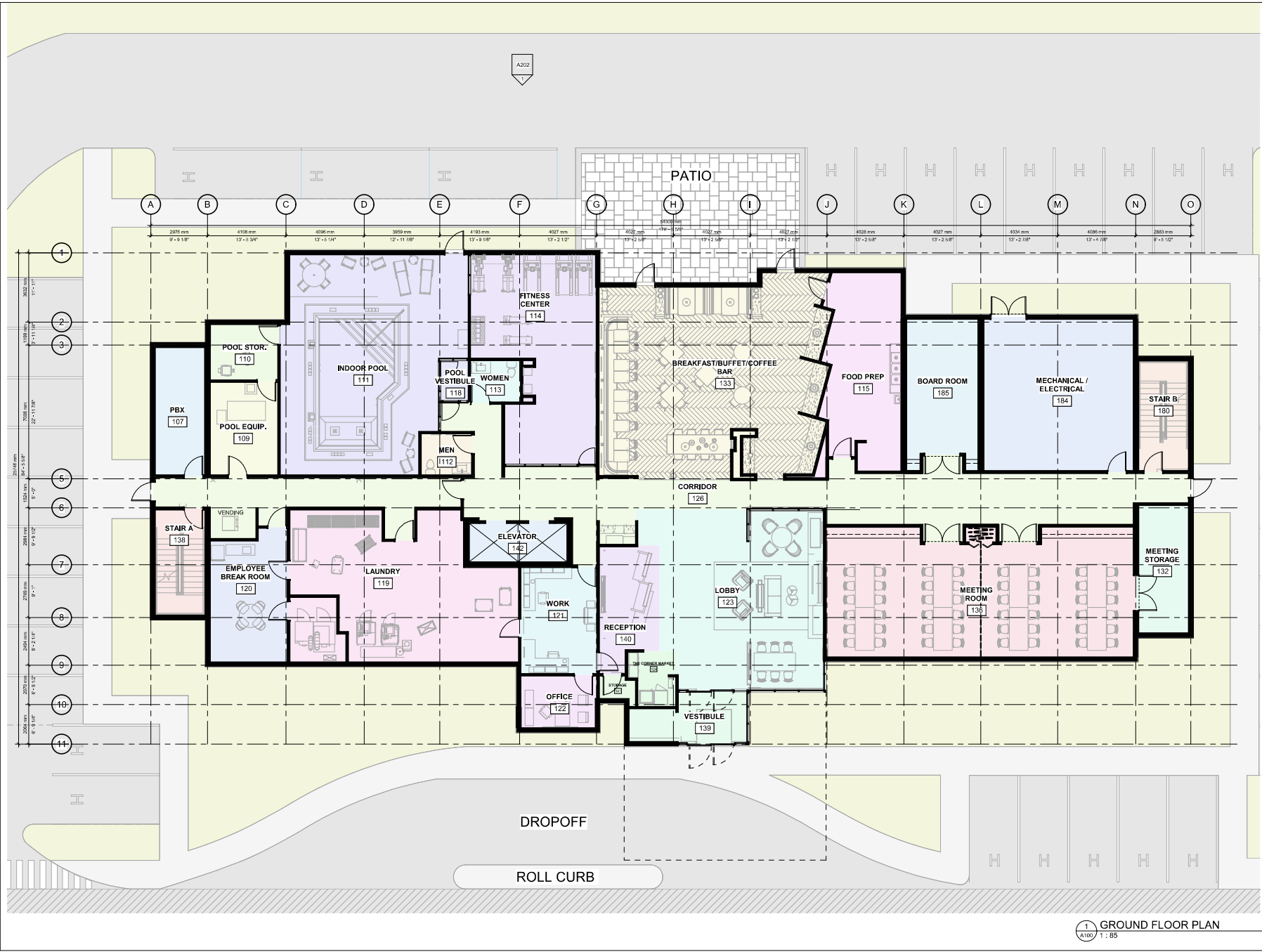
A.002

C:\Users\jordan\OneDrive\Documents\122029\122029.dwg

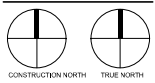


Chamberlain Architect  
Services Limited  
4671 Pallisium Way (Unit 1)  
Burlington, Ontario, L7M 0W9  
CANADA  
Phone: 905.631.7777  
www.chamberlain-IPD.com

NO.	ISSUED	DATE



DO NOT SCALE DIMENSIONS. USE ONLY DIMENSIONS SHOWN ON DRAWINGS.  
CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS OBTAINED ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BURLINGTON AND THE PROVINCE OF ONTARIO. CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS OBTAINED ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BURLINGTON AND THE PROVINCE OF ONTARIO. CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS OBTAINED ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF BURLINGTON AND THE PROVINCE OF ONTARIO.



**DUNCAN  
FAIRFIELD**

2980 Drinkwater Road

GROUND FLOOR  
PLAN

START DATE	2022/06/06
DRAWN BY	NAL
CHECKED BY	JM
SCALE	1 : 85
PROJECT NO.	122029

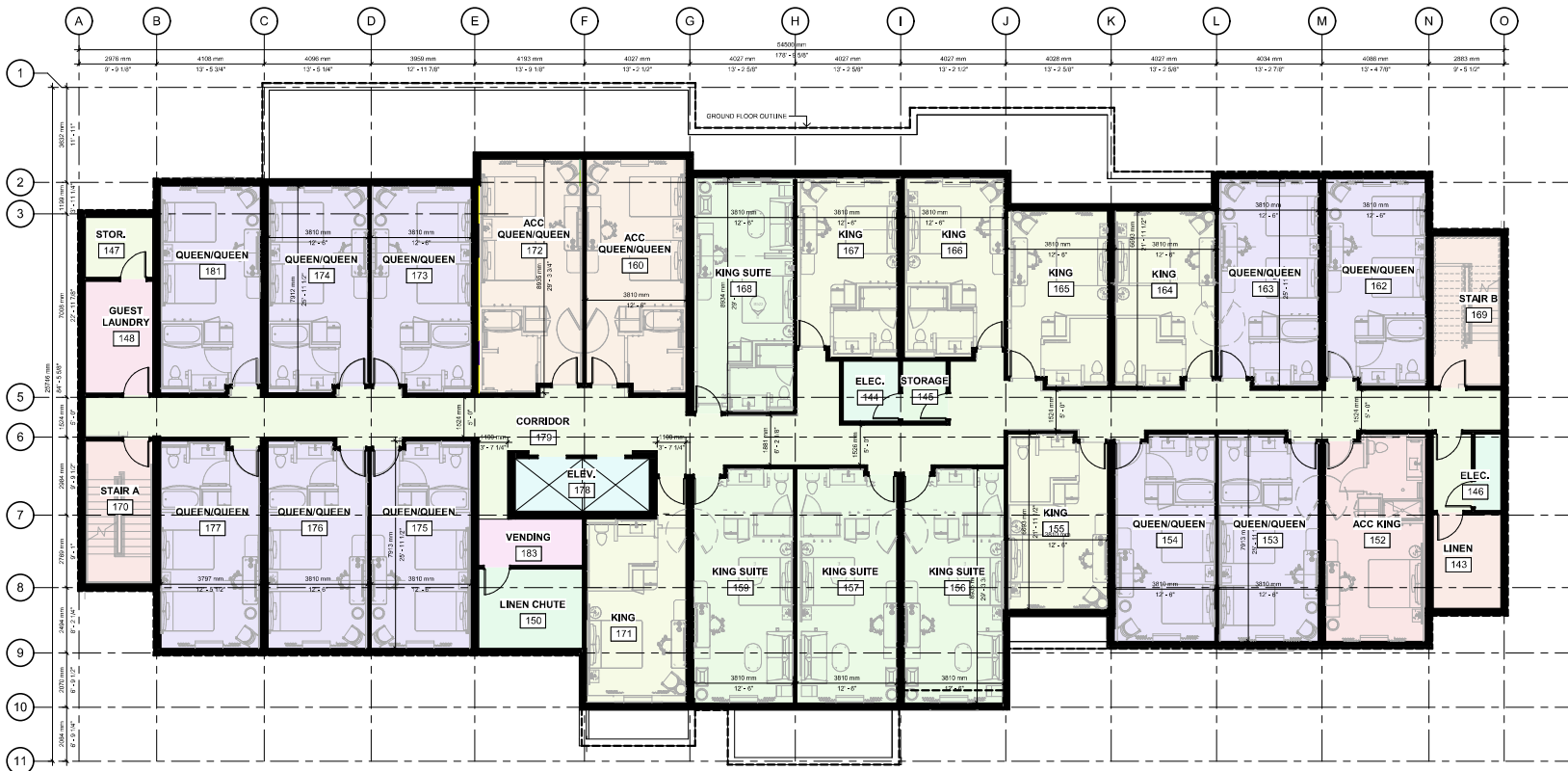
1 GROUND FLOOR PLAN  
A100 / 1 : 85

**A100**

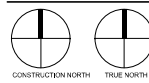


Chamberlain Architect Services Limited  
4671 Pallisium Way (Unit 1)  
Burlington, Ontario, L7M 0W9  
CANADA  
Phone: 905.631.7777  
www.chamberlain-ai.com

NO. ISSUED DATE  
CLIENT PROJECT NO.



DO NOT SCALE DRAWINGS, USE ONLY DRAWING DIMENSIONS FOR CONSTRUCTION. VERIFY ALL DIMENSIONS AND DIMENSIONS ON SITE FOR CONSTRUCTION. CHAMBERLAIN ARCHITECTS SERVICES LIMITED HAS CONDUCTED CONSTRUCTION SERVICES LIMITED FOR THIS PROJECT. CHAMBERLAIN ARCHITECTS SERVICES LIMITED HAS CONDUCTED CONSTRUCTION SERVICES LIMITED FOR THIS PROJECT. CHAMBERLAIN ARCHITECTS SERVICES LIMITED HAS CONDUCTED CONSTRUCTION SERVICES LIMITED FOR THIS PROJECT.



DUNCAN  
FAIRFIELD

UNIT MATRIX			
Name	Area	Count	COUNT %
ACC KING	30 m²	5	4.3%
ACC QUEEN/QUEEN	33 m² ... 35 m²	10	8.7%
KING	25 m² ... 28 m²	30	26.1%
KING SUITE	34 m² ... 34 m²	20	17.4%
QUEEN/QUEEN	30 m² ... 30 m²	50	43.5%
Grand total:		115	100.0%

UNIT MATRIX - PER LEVEL			
Name	Count	%	
T/O SECOND FLOOR			
ACC KING	1	0.9%	
ACC QUEEN/QUEEN	2	1.7%	
KING	6	5.2%	
KING SUITE	4	3.5%	
QUEEN/QUEEN	10	8.7%	
	23	20.0%	

UNIT MATRIX - PER LEVEL			
Name	Count	%	
T/O FOURTH FLOOR			
ACC KING	1	0.9%	
ACC QUEEN/QUEEN	2	1.7%	
KING	6	5.2%	
KING SUITE	4	3.5%	
QUEEN/QUEEN	10	8.7%	
	23	20.0%	

UNIT MATRIX - PER LEVEL			
Name	Count	%	
T/O SIXTH FLOOR			
ACC KING	1	0.9%	
ACC QUEEN/QUEEN	2	1.7%	
KING	6	5.2%	
KING SUITE	4	3.5%	
QUEEN/QUEEN	10	8.7%	
	23	20.0%	
Grand total:	115	100.0%	

GFA	
Area	SF
T/O GROUND FLOOR	1035 m² / 11138 ft²
T/O SECOND FLOOR	895 m² / 9637 ft²
T/O THIRD FLOOR	895 m² / 9634 ft²
T/O FOURTH FLOOR	883 m² / 9505 ft²
T/O FIFTH FLOOR	895 m² / 9637 ft²
T/O SIXTH FLOOR	783 m² / 8431 ft²
5387 m²	57983 ft²

1 SECOND FLOOR PLAN  
A101 1:85

2880 Drinkwater Road

SECOND FLOOR PLAN (TYPICAL)

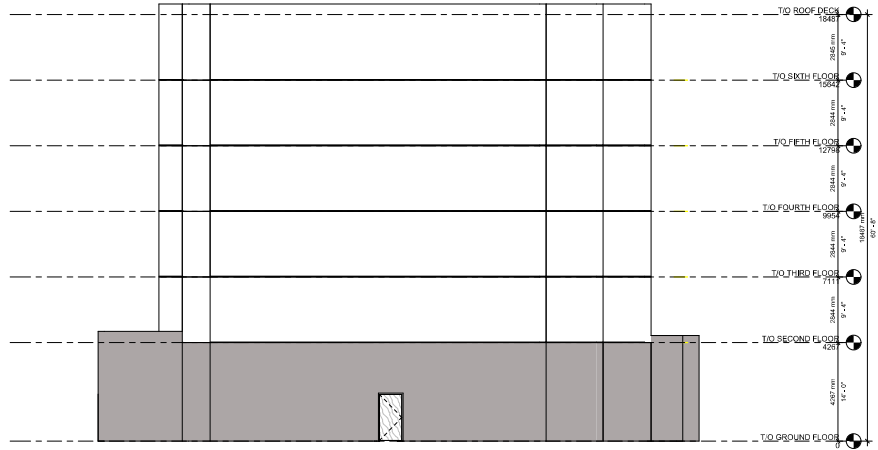
START DATE: 2022/06/06  
DRAWN BY: NAL  
CHECKED BY: JM  
SCALE: 1:85  
PROJECT NO.: 122029

A101



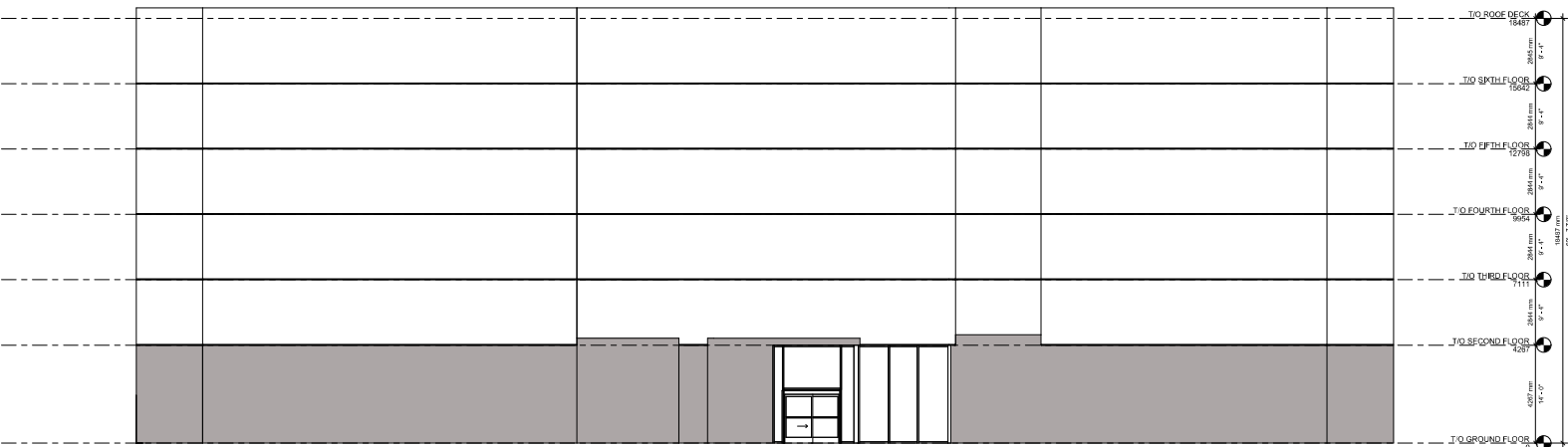
Chamberlain Architect Services Limited  
 4671 Pallisium Way (Unit 1)  
 Burlington, Ontario, L7M 0V9  
 CANADA  
 Phone: 905.631.7777  
 www.chamberlain-ipo.com

NO.	ISSUED	DATE
-----	--------	------



2 SIDE ELEVATION  
 A201 1 : 100

DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS SHOWN. VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE CONSTRUCTION. CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED AND HAS FOUND IT TO BE REASONABLY ACCURATE. CHAMBERLAIN ARCHITECT SERVICES LIMITED DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED. CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS CONDUCTED VISUAL VERIFICATION OF THE INFORMATION PROVIDED AND HAS FOUND IT TO BE REASONABLY ACCURATE. CHAMBERLAIN ARCHITECT SERVICES LIMITED DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED.



1 FRONT ELEVATION  
 A201 1 : 100

DUNCAN  
 FAIRFIELD

EXTERIOR  
 ELEVATION I

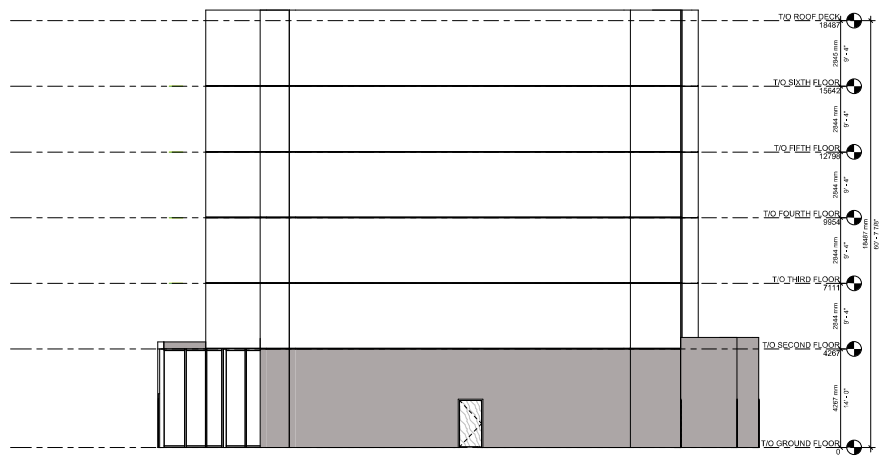
START DATE	2022/06/06
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1 : 100
PROJECT NO.	122029

DRAWING  
**A201**



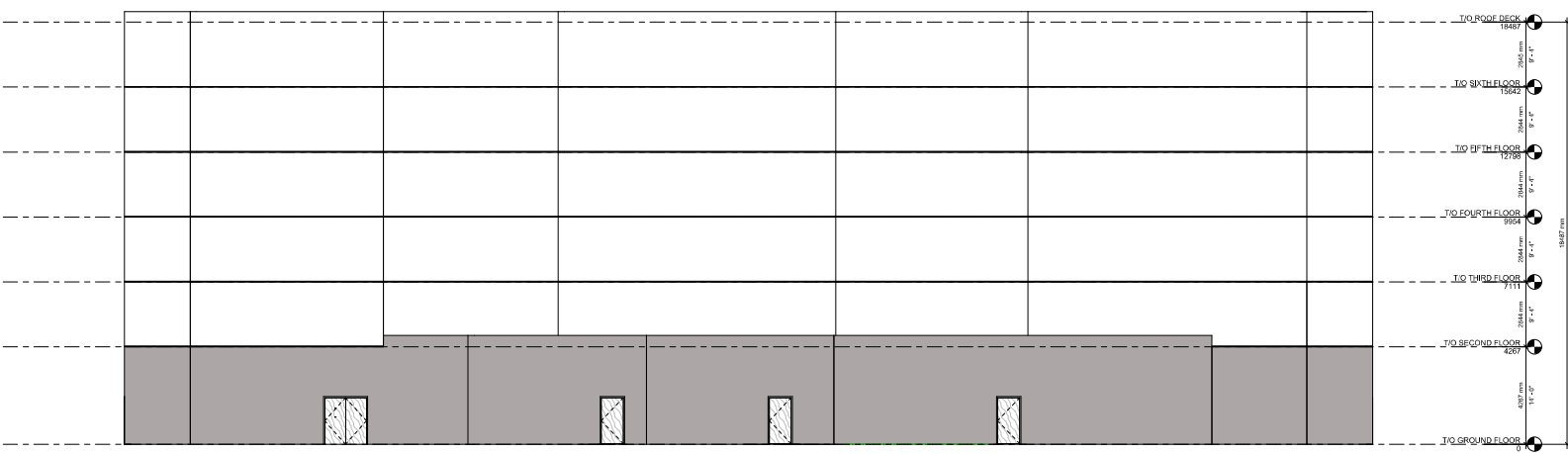
**Chamberlain Architect Services Limited**  
 Architects  
 Consultants  
 Managers  
 4671 Pallisum Way (Unit 1)  
 Burlington, Ontario, L7M 0W9  
 CANADA  
 Phone: 905.631.7777  
 www.chamberlain-ipo.com

NO.	ISSUED	DATE
-----	--------	------



**2** SIDE ELEVATION (I)  
 1 : 100

DO NOT SCALE DRAWINGS, USE ONLY DIMENSIONS  
 NUMBERED RESULTS FOR CONSTRUCTION. ALWAYS  
 CONFIRM SIZE AND DIMENSIONS ON SITE BEFORE  
 BEGINNING WORK. NO PROTECTIVE MEASURES TO  
 BE TAKEN. ENGINEER OR ARCHITECT'S  
 RESPONSIBILITY.  
 CHAMBERLAIN ARCHITECT SERVICES LIMITED HAS  
 CHAMBERLAIN CONSTRUCTION SERVICES LIMITED  
 NOT BE A PART OF US.  
 CHAMBERLAIN ARCHITECT SERVICES LIMITED  
 HAS CONFIDENTIAL INFORMATION AND  
 PROPRIETARY INFORMATION. ANY  
 REPRODUCTION OR DISSEMINATION OF THIS  
 INFORMATION WITHOUT THE WRITTEN  
 PERMISSION OF CHAMBERLAIN ARCHITECT  
 SERVICES LIMITED IS STRICTLY PROHIBITED.  
 PROJECT REFERENCE: 122029 - DUNCAN  
 FAIRFIELD  
 COPYRIGHT © 2022 CHAMBERLAIN ARCHITECT  
 SERVICES LIMITED



**1** BACK ELEVATION  
 1 : 100

**DUNCAN  
 FAIRFIELD**

**EXTERIOR  
 ELEVATION II**

START DATE	2022/06/06
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1 : 100
PROJECT NO.	122029

**A202**