

NOTES

ALL WORK SHALL CONFORM TO CURRENT BUILDING CODES AND LOCAL BYLAW.

WATER PENETRATIONS TAKE PRECEDENCE OVER SCALED FINISHES.

BEFORE STARTING WORK AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

FOOTINGS SHOWN ON THESE DRAWINGS HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 1000 PSF. IF SOIL BEARING CAPACITY IS THE RESPONSIBILITY OF OWNER, CONTRACTOR TO HAVE FOOTINGS REDESIGNED BY ENGINEER TO SUIT SITE CONDITIONS.

ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI OR AS SPECIFIED.

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION.

ALL CONCRETE AND MASONRY FOUNDATION WALLS BEING BUILT SHALL BE IN ACCORDANCE WITH DESIGN BY A REGISTERED STRUCTURAL ENGINEER.

ALL FOOTINGS TO HAVE MINIMUM 12" CLEARANCE FROM SIDE & BOTTOM.

ALL VERTICAL REINFORCING TO BE 1/2" DIAMETER UNLESS OTHERWISE NOTED.

ALL UNFINISHED CONCRETE TO BE SEPARATED BY APPROVED MEMBRANE.

JOISTS ARE TO BE DOUBLE JOIST PARTITIONS.

ALL FINISHED CEILING TO BE INSTALLED TO MANUFACTURER'S SPEC.

MECHANICAL SHALL BE PROVIDED WITH MECHANICAL VENTILATION DESIGN BY OTHER TRADES TO BE VERIFIED THROUGH USE OF AREA ENGINEER CHALLENGED TO BE VENTED THROUGH ROOF OF AREA.

BEAMS (ID) DENOTES DROPPED (F) DENOTES FLUSH

ALL DIMENSIONS TO FACE OF STUDS

FACE OF STUDS FLUSH WITH CONCRETE

WALL LEGEND

	2 X 6 EXT WALL (1 1/2" THICK)
	2 X 6 EXT WALL (1" THICK)
	2 X 6 INT WALL (1 1/2" THICK)
	2 X 4 INT WALL (1 1/2" THICK)
	CONCRETE WALL (10" THICK)
	CONCRETE WALL (8" THICK)

MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"
 2600 SQUARE FEET LIVING
 1600 SQUARE FEET GARAGES

VISION DESIGN

PROPOSED HOUSE PLANS FOR SHARRON & DAVID LIU

RAW: AS SHOWN DRAWN: JOHN WISER
 DATE: JUN 23, 2023 PROJ: 250-748-4-110

MAIN FLOOR PLAN

BY: SHARRON ROAD, CROFTON, BC 1/10

SITE PLAN 2
SCALE: 1/8" = 1'-0"

SITE PLAN 2
SCALE: 1/8" = 1'-0"

LEGAL DESCRIPTION

LOT 5
SECTION 18 4 30
RANGE 4
DISTRICT COHIAKEN
PLAN 3088

OVERALL HEIGHT CALCULATION					
OVERALL HEIGHT	M	FT	FT	IN	1/16
MAXIMUM HEIGHT	9	25.528	25	6	9
CORNERS					
	FT	IN	1/16	FT	IN
POINT A	29	6	0	29.5	8.998
POINT B	29	6	0	29.5	8.998
POINT C	29	6	0	29.5	8.998
POINT D	30	1	5	30.609	9.336
POINT E	30	1	5	30.609	9.336
POINT F	33	3	3	33.166	10.299
POINT G	40	6	9	40.941	12.361
POINT H	40	6	9	40.941	12.361
POINT I	40	6	9	40.941	12.361
POINT J	33	3	3	33.166	10.299
POINT K	0	0	0	0	0.000
AVERAGE	33	10	14	33.91	10.362
UNDER HEIGHT	FT	IN	1/16	FT	IN
	-4	-4	-9	-4.38	-13.62
MISSING HEIGHT	FT	IN	1/16	FT	IN
TAKE MAX HEIGHT	-14	-3	-11	-14.31	-43.616

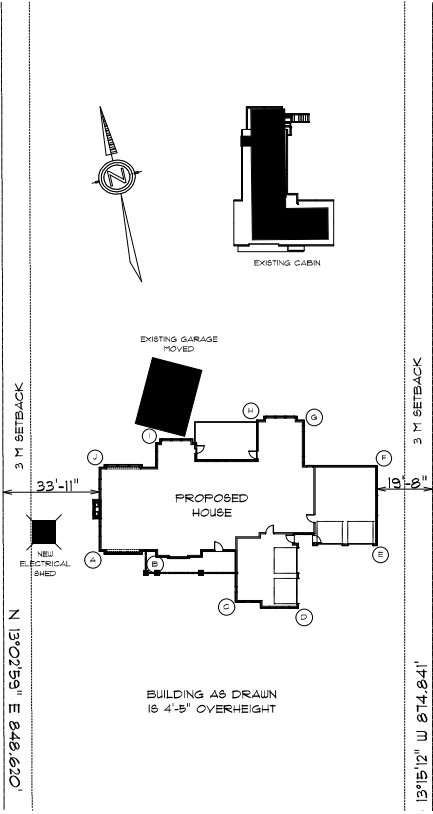
VISION DESIGN

PROPOSED HOUSE PLANS FOR SHARRON & DAVID LUJ

DATE: 26 JUN 2011 DRAWN BY: JOHN VIGORER
 DATE: June 23, 2013 DATE: 250-748-6110

SITE PLAN

101 BARNES ROAD, CROFTON, SC 2/10



BUILDING AS DRAWN IS 4'-5" OVERHEIGHT

3 M SETBACK
N 13°02'59" E 848.620'

3 M SETBACK
13°15'12" W 874.841'

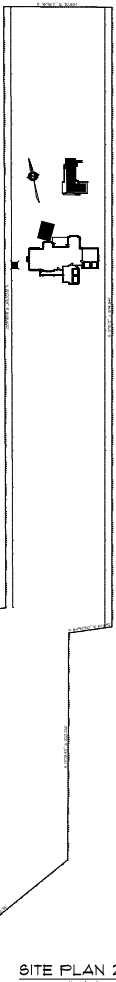
33'-11"

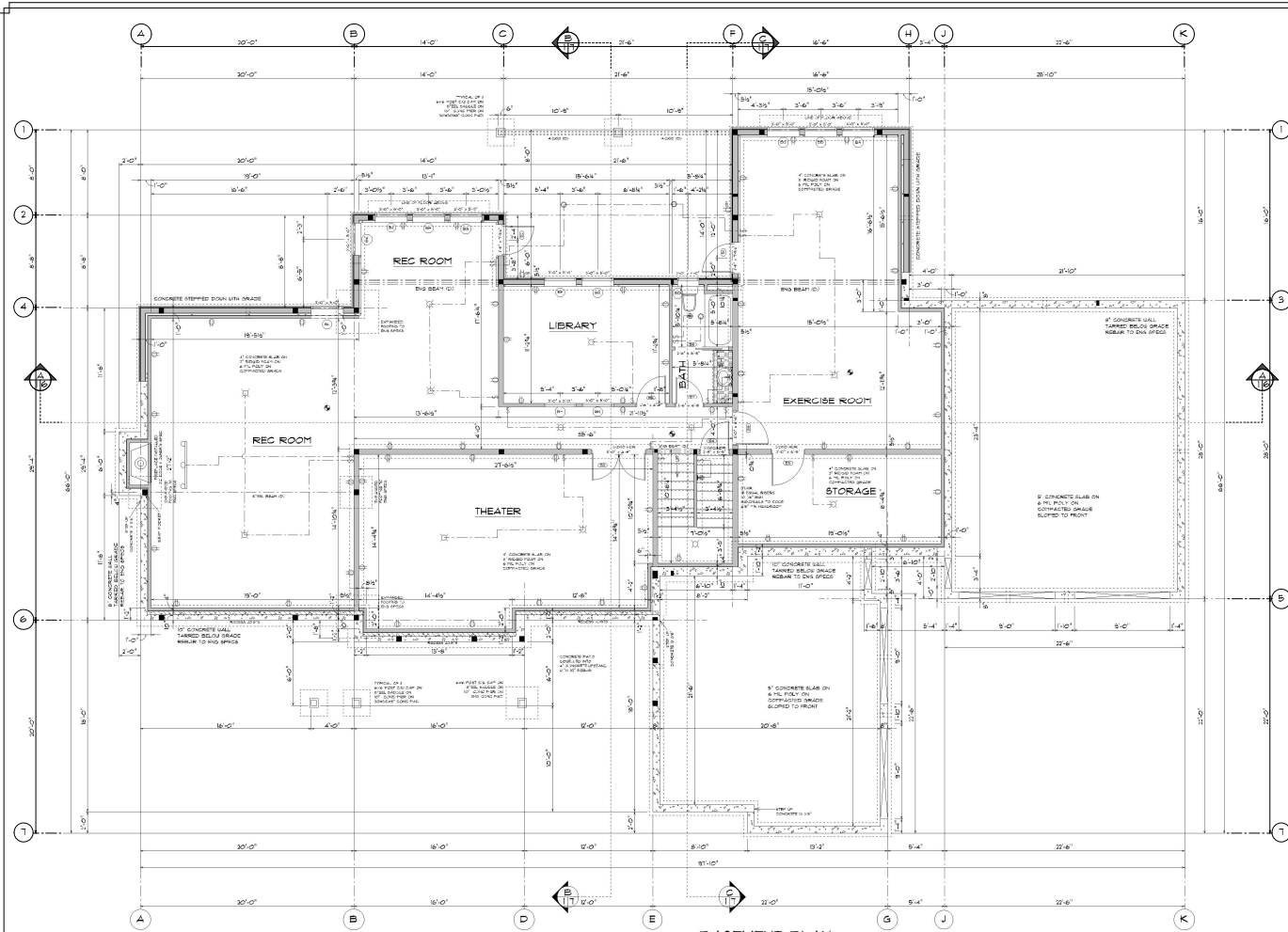
19'-8"

NEW ELECTRICAL SHED

EXISTING GARAGE MOVED

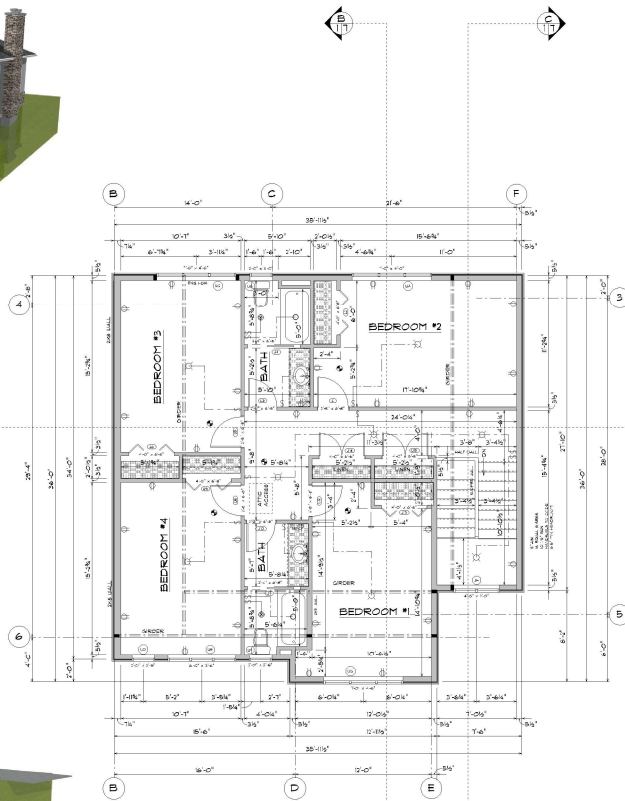
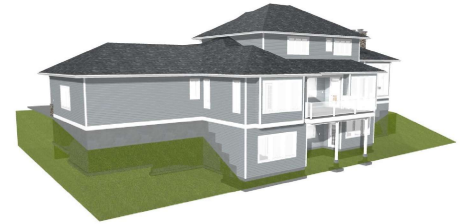
EXISTING CABIN





BASEMENT PLAN
 SCALE: 1/4" = 1'-0"
 1442 SQUARE FEET LIVING

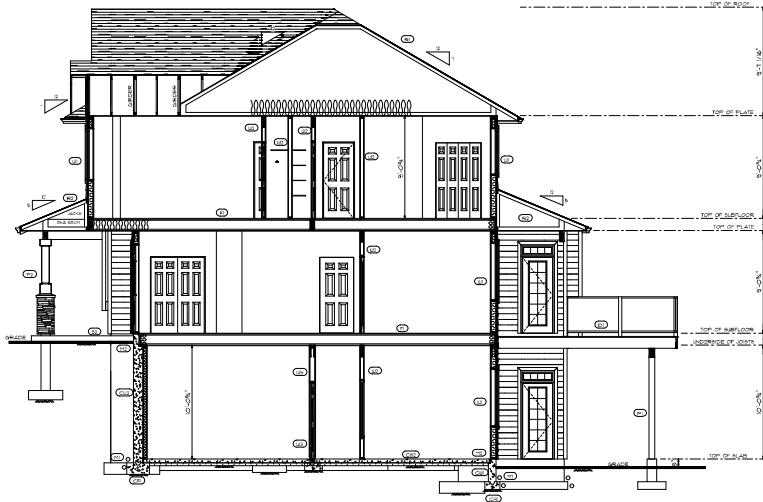
		PROPOSED HOUSE PLANS FOR SHARRON & DAVID LUJ	
		<small>DATE: 06-20-2013</small>	<small>BY: JOHN VIGORER</small>
<small>DATE: 06-23-2013</small>		<small>PROJECT: 250-748-6110</small>	
BASEMENT PLAN			
<small>131 BARBERS ROAD, CROFTON, SC</small>			4/10



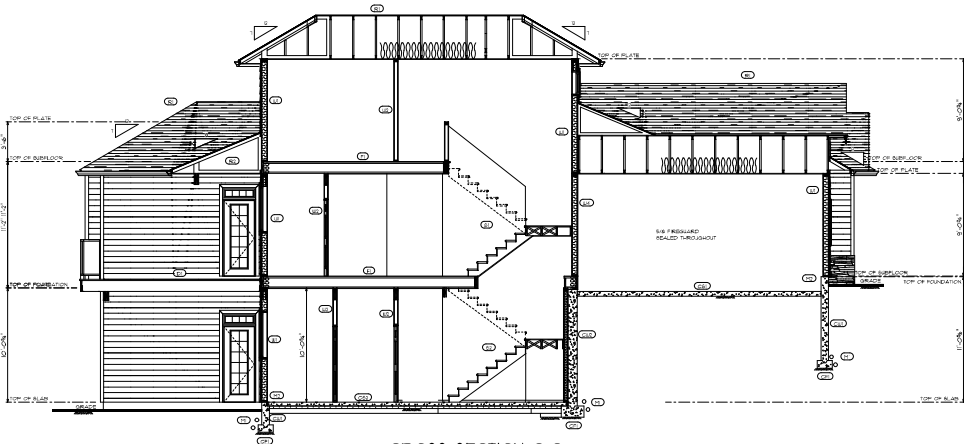
UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"
1000 SQUARE FEET LIVING

71 VISION DESIGN	
PROPOSED HOUSE PLANS FOR SHARRON & DAVID LUJ	
DATE: AS SHOWN	DRAWN BY: JOHN VEIGER
DATE: June 23, 2013	PHONE: 250-748-6110
UPPER FLOOR PLAN	
NO: 021 BARNES ROAD, CROFTON, BC	5/10



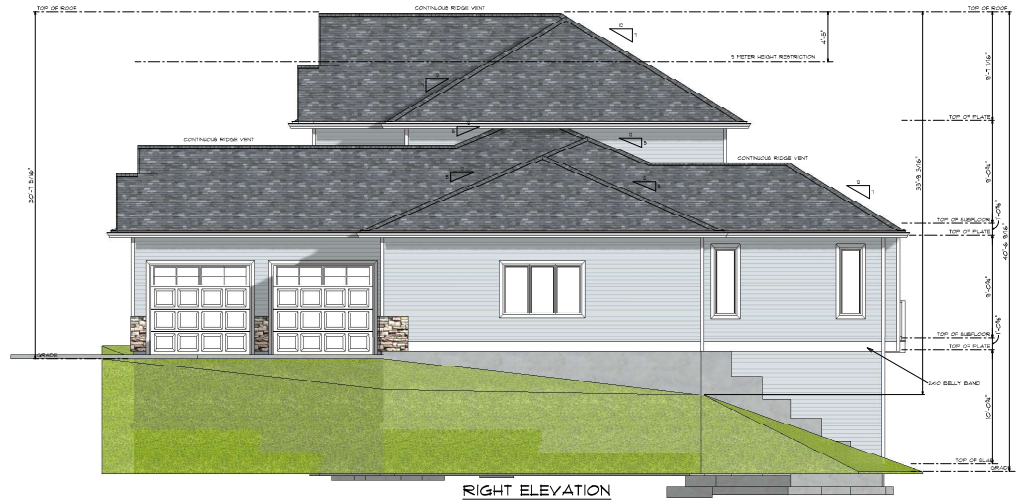
CROSS SECTION B-B SCALE: 1/4" = 1'-0"



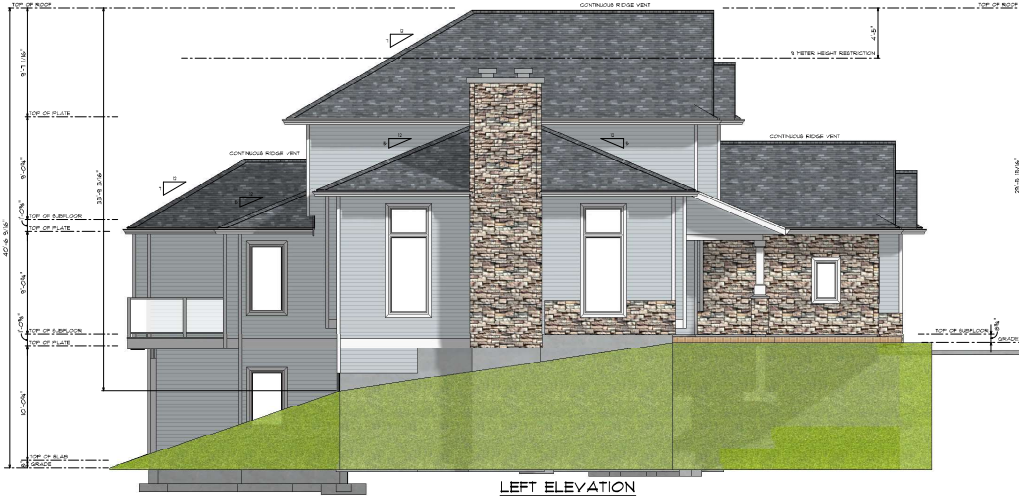
CROSS SECTION C-C SCALE: 1/4" = 1'-0"

- 1 FIBERGLASS INSULATION 2" THICK 4" X 8" JOISTS INSULATED 1/2" VAPOR BARRIER 1/2" DRYWALL
- 2 FIBERGLASS INSULATION 2" THICK 4" X 8" JOISTS INSULATED 1/2" VAPOR BARRIER 1/2" DRYWALL
- 3 FINISH BRICK IMPROVED WITH BROWN GLAZED FAIRFAX 1/2" EMERALD 2" X 8" D.C. 1/2" INSULATION 1/2" VAPOR BARRIER 1/2" DRYWALL
- 4 1/2" DRYWALL 5/8" STUDS 1/2" D.C. 1/2" DRYWALL
- 5 2" X 8" REBAR TO WALL ON 4" CONCRETE SLAB ON 12" X 16" CONCRETE FOOTING 2" INSUL. 1/2" REBAR
- 6 1/2" INSULATION 2" X 8" STUDS 1/2" D.C. 1/2" DRYWALL
- 7 1/2" DRYWALL 5/8" STUDS 1/2" D.C. 1/2" DRYWALL
- 8 2" X 8" REBAR TO WALL ON 4" CONCRETE SLAB ON 12" X 16" CONCRETE FOOTING 2" INSUL. 1/2" REBAR
- 9 1/2" INSULATION 2" X 8" STUDS 1/2" D.C. 1/2" DRYWALL
- 10 1/2" DRYWALL 5/8" STUDS 1/2" D.C. 1/2" DRYWALL
- 11 CONCRETE FLOOR 8" X 16" REBAR TO END BRICK
- 12 1/2" DRYWALL 5/8" STUDS 1/2" D.C. 1/2" DRYWALL
- 13 1/2" CONCRETE SLAB ON 4" REBAR 8" INCREASING ON 4" POLY ON COMPACTED GRADE SLOPED TO FRONT
- 14 1/2" CONCRETE WALL TYPED 1/2" X 8" ON 1/2" REBAR 1/2" D.C. WALL
- 15 1/2" CONCRETE WALL TYPED 1/2" X 8" ON 1/2" REBAR 1/2" D.C. WALL
- 16 1/2" CONCRETE FLOOR 8" X 16" REBAR TO END BRICK
- 17 1/2" DRYWALL 5/8" STUDS 1/2" D.C. 1/2" DRYWALL
- 18 1/2" CONCRETE SLAB ON 4" REBAR 8" INCREASING ON 4" POLY ON COMPACTED GRADE
- 19 ROOF DRAIN DOWN ROOF
- 20 ANCHOR BOLTS 4" D.C. 3/4" PLATE 4" MARKIT GRADE 6 BELOW TOP OF CONCRETE


VISION DESIGN	
PROPOSED HOUSE PLANS FOR SHARRON & DAVID LIU	
DATE: JUN 28, 2013	BY: JOHN VILGIER
REV: JUN 28, 2013	NO: 250-748-4110
CROSS SECTION B-B & C-C	
111 SHARPER ROAD, CROFTON, SC	7/10



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

 VISION DESIGN	
DATE: 28 JUN 2023 BY: JUNE 23, 2023	DRAWN BY: JOHN VISIGER CHECKED BY: 250-748-6110
SIDE ELEVATIONS	
101 BARNES ROAD, CROFTON, SC	10/10