



## ATTACHMENT 10

Agricultural Land Commission  
201 – 4940 Canada Way  
Burnaby, British Columbia V5G 4K6  
Tel: 604 660-7000  
Fax: 604 660-7033  
www.alc.gov.bc.ca

August 11, 2022

ALC File: 65886

SENT BY E-MAIL

Attention: Luigi Mansueti, Agent

Dear Luigi Mansueti:

**Approval Subject to Limits and Conditions Under Section 20.3(2)(b)(ii) of the  
Agricultural Land Commission Act**

**Re: Notice of Intent to place fill on Land in the Agricultural Land Reserve**

PID: 031-609-724

Legal Description: Lot A Section 6 Range 1 Comiaken District Plan EPP117684

Civic Address: 6651 Lakes Road, Duncan, BC

(the "Property")

---

On June 23, 2022 the Chief Executive Officer (CEO) of the Agricultural Land Commission received a Notice of Intent (NOI) pursuant to section 20.3(1)(c) of the *Agricultural Land Commission Act* (ALCA) for the proposed placement of fill on the Property (the Proposed Fill Placement Activities). The CEO also received a fee of \$150 with respect to the NOI pursuant to subsection 20.3(1)(c)(ii).

As delegate CEO pursuant to subsection 20.3(6) of the ALCA, I understand the following about the Proposed Fill Placement Activities from the NOI and accompanying documents:

- The landowner of the Property is Midco Holdings LTD., INC. No. BC0787763;
- The listed registered director of Midco Holdings LTD. is Luigi Mansueti;
- Luigi Mansueti was appointed as Agent by the landowner;
- The total area of the Proposed Fill Placement Activities is 0.39 ha (3,900 m<sup>2</sup>);
- The agricultural capability of the property is Class 4, limited by topography and soil moisture deficiency;
- The purpose of the Proposed Fill Placement Activities is to construct a principal residence, a detached electrical generator building, driveway, and an agricultural storage building;
- The proposed principal residence consists of the following:

- The total floor area of the principal residence would be 488.25 m<sup>2</sup>, including the 42 m<sup>2</sup> attached garage exemption and the crawl space exemption (i.e., unfinished space below the first floor with a vertical height of less than 1.8 m) associated with the ALC's total floor area definition for a principal residence as described in the [ALC's Information Bulletin 05](#);
- The enclosed area of the detached electrical generator building would be 9.29 m<sup>2</sup>, and is considered to be included in the ALC's total floor area calculation for the principal residence;
- Therefore, the total floor area of the principal residence, including the detached electrical generator building, would be 497.54 m<sup>2</sup>;
- The proposed agricultural storage building consists of the following:
  - The total floor area of the proposed agricultural storage building would be 561.56 m<sup>2</sup>;
  - The Agent stated the agricultural storage building would include storage space for equipment, harvested trees, room for future agricultural activity, and may include retail space to sell product that would be produced on the Property;
- The type of material proposed to be placed on the Property is crush rock, sand, and pea gravel;
- The proposed volume of materials to be placed on the Property is 600 m<sup>3</sup>;
- The proposed maximum depth of material to be placed on the Property is 0.24 m; and,
- The proposed duration of the Proposed Fill Placement is two (2) years and two (2) months.

Upon review of the Notice of Intent and accompanying documents, I partially approve the Proposed Fill Placement Activities.

I hereby approve the Proposed Fill Placement Activities associated with the principal residence, driveway, and detached electrical generator building subject to the attached Schedule A: Limits and Conditions under section 20.3(2)(b)(ii) of the Act.

However, approval for the **proposed agricultural storage building is not granted** as I am unable to determine if this structure is a farm building and whether it is necessary for a farm use. As such, I cannot issue approval for the placement of fill for the construction of the proposed agricultural storage building. A Soil and Fill Use Application must be submitted to the Commission to proceed with that specific proposal. If the proposed structure will include non-farm uses, then a Non-Farm Use Application must be submitted to the Commission. If you are unsure which application to submit, you may contact [SoilandFillApplications@gov.bc.ca](mailto:SoilandFillApplications@gov.bc.ca) for guidance.

If you wish to pursue the proposed agricultural storage building, you must do one of the following actions:

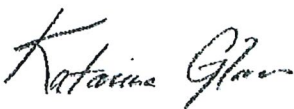
1. Initiate the Soil and Fill Use Application or Non-Farm Use Application process by submitting the required form and paying the associated fee: (\$750) to the local government [District of North Cowichan]. The remainder of the application fee will only be required if your local government forwards the above noted application to the Agricultural Land Commission. The application can be submitted through the [ALC's Application Portal](#). Information on the application process can be found on the ALC website under [Applications and Decisions](#).
2. Alternatively, you may consider adjusting the building plans for the agricultural storage building to be commensurate with the existing farm activity on the Property. Should you pursue this option, the submission of a new NOI may be required.

**This approval is only for the Proposed Fill Placement Activities associated with the proposed principal residence, driveway, and detached electrical generator building and does not include the agricultural storage building.** This approval does not constitute approval for any other activity on the Property for which CEO or Commission approval would otherwise be required. This approval does not relieve you of your obligation to comply with all applicable Acts, regulations, bylaws of local government, and decisions and orders of any person or body having jurisdiction over the land under an enactment.

Should you not agree to restrictions on the intended specified use, as set out in the above 'terms and conditions', the option of submitting a formal application to the Commission is available. Information on application process can be found on the ALC website under [Applications](#).

As agent, it is your responsibility to advise your client of this, and any future, correspondence. Further correspondence with respect to this letter should be directed to [ALC.soil@gov.bc.ca](mailto:ALC.soil@gov.bc.ca).

Sincerely,

A handwritten signature in black ink, appearing to read 'Katherine Glavin'.

Katarina Glavas  
Delegate of the Chief Executive Officer

Enclosure:     Schedule A: Limits and Conditions  
                    Schedule B: Approval Map  
                    Schedule C: Principal Residence Building Plans  
                    Schedule D: Detached Electrical Generator Building Plans  
                    Schedule E: Agricultural Storage Building Plans

cc: Patricia Taylor, Community Planning Technician – District of North Cowichan  
([patricia.taylor@northcowichan.ca](mailto:patricia.taylor@northcowichan.ca))

District of North Cowichan ([dev.applications@northcowichan.ca](mailto:dev.applications@northcowichan.ca))

65886d1

## **Schedule A:**

### **Limits and Conditions on the Proposed Fill Placement Activities**

#### **GENERAL**

1. The Proposed Fill Placement Activities must be conducted in compliance with the limits and conditions set out in this NOI approval;
  - o This partial approval is only for the Proposed Fill Placement Activities associated with the proposed principal residence, driveway, and detached electrical generator building and does not include the proposed agricultural storage building;
2. The Proposed Fill Placement Activities are restricted to the 0.39 ha area shown in the Schedule B: Approval Map attached to this NOI approval;
3. The total allowed volume of material to be placed is limited to 600 m<sup>3</sup>;
4. Approval for placement of fill on the Property is granted for the sole benefit of the Applicant and is non-transferable without the written approval of the ALC;

#### **CONDUCTING PROPOSED FILL PLACEMENT ACTIVITIES**

##### **Topsoil Salvage**

5. All existing topsoil should be salvaged for use elsewhere on the Property where appropriate;
  - a. Stockpiled soils should be windrowed and located in an area where they will not be disturbed and will not impede site drainage.
  - b. Stockpiled soil must not be removed from the Property without written permission from the ALC;

### **Vehicular Traffic**

6. Access and egress of all vehicle traffic associated with the Proposed Fill Placement Activities and other related activities, must be restricted to a single access road onto the Property;
7. Dust suppression practices and/or restrictions on Proposed Fill Placement Activities related vehicle traffic must be applied when necessary to minimize air-borne dust from traffic on the access road;

### **Fill Material**

8. As per Section 36 of the *Agricultural Land Reserve Use Regulation*, prohibited fill must not be placed on the Property. Prohibited fill includes:
  - a. construction or demolition waste, including masonry rubble, concrete, cement, rebar, drywall and wood waste;
  - b. asphalt;
  - c. glass;
  - d. synthetic polymers;
  - e. treated wood;
  - f. unchipped lumber;
9. Recycled concrete aggregate and recycled asphalt pavement may be used as fill on agricultural land for the purpose of maintaining an existing farm road, where **"recycled concrete aggregate"** and **"recycled asphalt pavement"** mean concrete and asphalt that:
  - a. have been recovered from a demolition process,
  - b. have been crushed to a particle size

- i. that may pass through a 1.905 cm screen, in the case of recycled concrete aggregate, or
- ii. of 1.905 cm<sup>3</sup> or smaller, in the case of recycled asphalt pavement, and
- c. do not include, or are not combined with, metal, plastic, rubber, wood, glass, paper, organic materials or other contaminants.

**Weed Control**

- 10. Appropriate weed control must be practiced on all disturbed areas;

**DECISION/APPROVAL TERM**

The Proposed Fill Placement Activities must be completed within two (2) years and two (2) months from the release of this NOI approval (October 11, 2024).

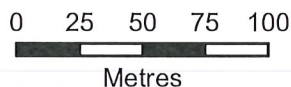
**NOTE: Unless the ALC first approves an NOI made under section 20.3(5) of the *Agricultural Land Commission Act* (ALCA) as described in the cover letter, proceeding with the Proposed Fill Placement Activities other than in accordance with the above limits and conditions contravenes the ALCA and is subject to compliance and enforcement measures under sections 49-54 of the ALCA.**

**This approval does not relieve you of your obligation to comply with all applicable Acts, regulations, bylaws of local government, and decisions and orders of any person or body having jurisdiction over the land under an enactment.**



ALC FILE NO:	65886
MAP PRODUCED:	August 4, 2022
MAP SCALE:	1:3,000
DATA SOURCES & NOTES:	ALC, BCGW & Google / Maxar. Contains information licensed under Open Government License - British Columbia.
Map for reference only. Accuracy not guaranteed.	

	Subject Property (6651 Lakes Rd, North Cowichan, BC)
	Approved Fill Placement Area (~0.39 ha)
	Agricultural Land Reserve
	PMBC Parcel Cadastre



## GENERAL NOTES CODES & STANDARDS

### STANDARDS

THESE DRAWINGS CONFORM TO THE BUILDING CODE IN FORCE IN BRITISH COLUMBIA AT THE TIME OF THEIR PREPARATION. THE OWNER OR BUILDER SHALL ENSURE THAT THE BUILDING CONSTRUCTED FROM THESE DRAWINGS COMPLIES WITH THE REQUIREMENTS OF THE BUILDING CODE IN FORCE AT THE TIME OF ITS CONSTRUCTION AND, ADDITIONALLY, COMPLIES WITH LOCAL BY-LAWS AND REGULATIONS.

ALL MATERIALS AND CONSTRUCTION PROCEDURES SHALL CONFORM TO THOSE OUT-LINED BY THE CURRENT BRITISH COLUMBIA BUILDING CODE. IN ADDITION, APPLY OR INSTALL ALL MATERIALS AND EQUIPMENT ACCORDING TO THEIR MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

THE BUILDER SHALL REVIEW AND VERIFY ALL DIMENSIONS, INFORMATION, AND SPECIFICATIONS SHOWN ON THE DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.

RESOLUTION OF VARIANCES FROM THE DRAWINGS OR SPECIFICATIONS CAUSED BY EXTENUATING CIRCUMSTANCES SUCH AS UNAVAILABILITY OF MATERIALS, UNUSUAL SITE CONDITIONS, OWNER PREFERENCES, ETC. SHALL BE THE SOLE RESPONSIBILITY OF THE BUILDER AND/OR OWNERS.

THE BUILDER SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT OF ALL BUILDING COMPONENTS DURING CONSTRUCTION AND SHALL NOT ALLOW MATERIAL STORAGE OR CONSTRUCTION PROCEDURES TO EXCEED THE DESIGN LOADS OF THE COMPONENTS SUPPORTING THEM.

THE BUILDER SHALL TAKE CARE TO PROTECT PUBLIC SAFETY DURING CONSTRUCTION AS OUTLINED IN THE CURRENT BRITISH COLUMBIA BUILDING CODE AND BY ANY OTHER REGULATORY BODY HAVING JURISDICTION.

THESE DRAWINGS SHOW THE DESIGN INTENT OF THE COMPLETED BUILDING. THEY DO NOT NECESSARILY INDICATE TEMPORARY STRUCTURES SUCH AS CONCRETE FORM-WORK OR TEMPORARY BRACING, SEQUENCE OF CONSTRUCTION, ASSEMBLY PROCEDURES, ETC.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE.

HORIZONTAL DIMENSIONS ARE TAKEN AT THE FACE OF SHEATHING OR CONCRETE ON EXTERIOR WALLS AND AT THE FACE OR CENTRELINE OF STUDS OR CONCRETE AS INDICATED ON INTERIOR WALLS. VERTICAL DIMENSIONS ARE TAKEN AT TOP OF CONCRETE SLAB, FLOOR SHEATHING, OR WALL PLATE AS INDICATED.

ROOM SIZES, IF INDICATED ON THE PLANS, ARE NOMINAL ONLY. MEASURE ACTUAL SITE CONDITIONS BEFORE ORDERING MATERIALS OR EQUIPMENT THAT ARE DEPENDENT ON EXACT SIZES.

IN INSTANCES WHERE THESE NOTES CONFLICT WITH ENGINEERING DRAWINGS AND SPECIFICATIONS THE ENGINEERING INFORMATION SHALL TAKE PRECEDENCE.

### SITE WORK

THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THE BUILDING AS INDICATED ON THE DRAWINGS AS WELL AS ENSURING COMPLIANCE WITH ALL REGULATIONS GOVERNING IT. REGULATORY BY-LAWS SHALL TAKE PRECEDENCE.

PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE OWNER OR BUILDER SHALL TAKE MEASURES TO INDICATE AND PROTECT ANY EXISTING VEGETATION OR OTHER NATURAL OR MAN-MADE FEATURES THAT ARE NOT TO BE DISTURBED BY CONSTRUCTION PROCESSES.

ALL ORGANIC MATTER SHALL BE STRIPPED FROM THE LOCATION OF THE PROPOSED STRUCTURE INCLUDING BENEATH ITS DECKS, PATIOS, WALKWAYS, ETC. FILL AREAS SERVING AS BASES FOR CONCRETE SLABS OR MASONRY PAVERS WITH CLEAN GRANULAR MATERIAL FREE OF ORGANIC MATTER IN MAXIMUM 6" LIFTS COMPACTED BY VIBRATION TO 95% STANDARD DRY PROCTOR DENSITY.

SLOPE FINISHED GRADES DOWN AWAY FROM THE BUILDINGS AT A MINIMUM OF 1% TO FACILITATE RUN OFF OF SURFACE WATER. DIRECT AND DRAIN RUN-OFF WATER IN A MANNER SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION.

### CONCRETE AND FOUNDATIONS

GARAGE AND CARPORT CONCRETE FLOOR SLABS AND EXTERIOR CONCRETE STAIRS, IF ANY, SHALL BE CONSTRUCTED WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 32 MPa AT 28 DAYS. ALL OTHER CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPa AT 28 DAYS.

FOOTINGS SHALL EXTEND TO SUITABLE UNDISTURBED OR ADEQUATELY COMPACTED SOIL BELOW THE FROST PENETRATION DEPTH (EXCEPT IN THE CASE OF A SOLID ROCK).

THE FOOTINGS (IF) INDICATED ON THESE DRAWINGS ASSUME A 100 KPa SOIL BEARING CAPACITY. IF LESSER BEARING CAPACITY IS ENCOUNTERED, THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR ENGAGING QUALIFIED PROFESSIONAL ENGINEERING PERSONNEL TO ANALYZE EXISTING CONDITIONS AND TO RE-DESIGN AND CERTIFY THE FOOTINGS AS NECESSARY TO SUIT.

LATERALLY UNSUPPORTED FOUNDATION WALLS EXCEEDING THE LIMITS STATED IN THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A QUALIFIED PROFESSIONAL STRUCTURAL ENGINEER.

ALLOW OPENINGS IN FOUNDATIONS FOR SERVICES AS REQUIRED. DETERMINE REQUIREMENTS PRIOR TO PLACING CONCRETE.

FORM THE DEPRESSIONS AND OTHER IRREGULARITIES IN FOUNDATION WALL SURFACES SHALL BE FILLED WITH GROUT OR OTHER SUITABLE MATERIAL TO CREATE RELATIVELY SMOOTH SURFACES.

CONCRETE SLABS SHALL BE PLACED ON A MINIMUM OF 6" OF CLEAN GRANULAR FILL FREE OF ORGANIC MATTER AND COMPACTED BY VIBRATION TO 95% STANDARD DRY PROCTOR DENSITY.

DAMP PROOF FOUNDATION WALLS WITH TWO COATINGS OF ASPHALT EMULSION OR EQUIVALENT MATERIAL BELOW FINISHED GRADE.

CONCRETE AND MASONRY STRUCTURES EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER. THE OWNER OR BUILDER SHALL TAKE RESPONSIBILITY FOR OBTAINING SUCH DESIGN AND CERTIFICATION AS REQUIRED.

### CARPENTRY

FRAMING LUMBER SHALL BE NO. 1 & 2 SPF UNLESS INDICATED OTHERWISE.

PROTECT ALL LUMBER IN CONTACT WITH CONCRETE BY INSTALLING A 45LB. FELT OR 6 MIL. POLYETHYLENE DAMP PROOFING LAYER OR OTHER APPROVED METHOD.

ANCHOR SILL PLATES TO CONCRETE FOUNDATION WITH 5/8" DIAMETER x 8" LONG GALVANIZED STEEL ANCHOR BOLTS AT A MAXIMUM SPACING OF 6'-0".

UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS EXTERIOR WALL FRAMING SHALL BE 2x6 STUDS @ 16"OC AND INTERIOR WALL FRAMING SHALL BE 2x4 STUDS @ 16"OC.

INSTALL BACKING AND BLOCKING AS REQUIRED FOR DRYWALL, PLUMBING FIXTURES, HANDRAILS, ELECTRIC FIXTURES, ETC. BACKING AND BLOCKING LOCATIONS AND SIZES NOT NECESSARILY INDICATED ON DRAWINGS - CHECK REQUIREMENTS WITH MANUFACTURERS OR SUPPLIERS OF MATERIALS AND EQUIPMENT.

DOUBLE UP FLOOR JOISTS UNDER PARTITIONS PARALLEL TO THE JOIST SPAN DIRECTION OR INSTALL BLOCKING THE SAME DEPTH AS THE JOISTS @ 32"OC BETWEEN THE JOISTS FLANKING BOTH SIDES OF THE PARTITION.

WHERE JOIST SPANS EXCEED 7'-0", INSTALL 2x2 CROSS BRIDGING OR FULL DEPTH SOLID BLOCKING BETWEEN THE JOISTS IN ROWS HAVING A MAXIMUM SPACING OF 7'-0" UNLESS DIRECTED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.

FLUSH FRAMED WOOD MEMBERS SHALL BE SECURED IN 2000 LB. GALVANIZED STEEL FRAMING ANCHORS UNLESS INDICATED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.

LINTELS SHALL BE 2x4s UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

TRUSSES, MANUFACTURED BEAMS, MANUFACTURED JOISTS, AND STRUCTURAL MEMBERS EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

WOOD EXPOSED TO THE WEATHER TO BE PRESSURE TREATED USING ACQ PRESSURE TREATING. METAL FASTENERS TO BE STAINLESS STEEL.

### GLAZING

GLAZING WEIGHTS SHALL CONFORM TO THE REQUIREMENTS OF PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.

GLASS IN DOORS AND SIDELIGHTS SHALL BE LAMINATED SAFETY GLASS.

GLAZING IN BATHROOMS SHALL BE TEMPERED OR LAMINATED SAFETY GLASS.

BEDROOMS SHALL BE FITTED WITH AT LEAST ONE WINDOW WITH AN OPENING SIZE SUITABLE FOR EMERGENCY EGRESS AS STATED IN PART 9.3.2 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE.

WINDOWS LOCATED WITHIN 2 METERS OF THE ADJACENT GROUND LEVEL OR THE FLOOR LEVEL OF A DECK ACCESSIBLE FROM THE EXTERIOR SHALL BE DESIGNED TO RESIST FORCIBLE ENTRY AS OUTLINED IN PART 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE.

FENESTRATION PERFORMANCE REQUIREMENTS:  
CLASS R - PG 20 - DESIGN PRESSURE = +950Pa/-950Pa - WATER PENETRATION RESISTANCE = 180Pa  
CANADIAN AIR INFILTRATION / EXFILTRATION = A2

WIND/DOOR LABELS TO BE LEFT IN PLACE UNTIL FINAL INSPECTION

### FLASHING

FLASHING SHALL BE PRE-FINISHED AND OF A MATERIAL SUITABLE FOR ITS INTENDED USE IN ACCORDANCE WITH PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.

FLASHING SHALL BE OF A MATERIAL COMPATIBLE WITH ADJACENT MATERIALS OR SHALL BE TREATED SO AS TO PREVENT ADVERSE REACTIONS WITH ADJACENT MATERIALS.

INSTALL SHEET METAL FLASHING TO PROTECT FROM MOISTURE PENETRATION ALL EXTERIOR HORIZONTAL OR OBLIQUE CHANGES OF PLANE OR MATERIAL.

SEAL AROUND ALL OPENINGS TO THE EXTERIOR WITH A NON-HARDENING CAULKING MATERIAL.

ALL FLASHINGS SHALL HAVE A MINIMUM 20% SLOPE AWAY FROM THE BUILDING OR WHERE FLASHING TERMINATES ONTO A SLOPED ROOF, MATCH SLOPE.)

ALL FLASHINGS ARE TO HAVE A FORMED DRIP EDGE (NOT REQUIRED WHERE FLASHING TERMINATES ON SLOPED ROOF.)

IF FLASHINGS COVERING SELF-ADHERING MEMBRANES ARE TO BE DARK COLOURED, USE A HIGH TEMPERATURE RESISTANT TYPE OF SELF-ADHERING MEMBRANE.

CAULKING TO BE A THERMO-PLASTIC TYPE SUCH AS "TREMCO DYMONIC" OR "SONNBOORN NPI".

### ROOFS

APPLY ROOFING MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ACCORDING TO THE STANDARDS ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.

PARAPET FLASHING AND ROOF PENETRATIONS SHALL BE CONSTRUCTED ACCORDING TO THE GUIDELINES ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.

FLAT ROOFS AND ROOF DECKS SHALL BE PROVIDED WITH A MINIMUM 1/4" IN 12' SLOPE DOWN TOWARD A ROOF DRAIN.

ROOF DRAINS SHALL EMPTY INTO A SEPARATE, TIGHT PIPE PERIMETER DRAINAGE SYSTEM LOCATED AT A DEPTH BELOW FROST PENETRATION.

### DOORS

FRAME OPENING 2" WIDER THAN DOOR, FRAME HEIGHT 2 1/2" HIGHER FOR ALL INTERIOR DOORS AND 3" HIGHER FOR ALL EXTERIOR DOORS. BUILDER TO CONFIRM ALL FINAL DOOR SIZES.

ACCESS DOORS FROM THE EXTERIOR TO INTERIOR SPACES AND THEIR ASSOCIATED FRAMING SHALL CONFORM TO THE REQUIREMENTS TO RESIST FORCIBLE ENTRY AS OUTLINED IN PART 9 OF THE BRITISH COLUMBIA BUILDING CODE.

EXTERIOR DOORS ACCESSING INTERIOR, HEATED SPACE SHALL BE SUITABLY WEATHERSTRIPPED.

EXTERIOR DOORS SHALL BE FITTED WITH DEADBOLT LOCKS HAVING A MINIMUM THROW OF 25 MILLIMETERS.

UNDERCUT INTERIOR DOORS 1/2" TO AID VENTILATION.

### MISCELLANEOUS

THE BUILDER SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF THE "HOMEOWNER PROTECTION ACT" REGULATIONS.

THE BUILDER SHALL BE RESPONSIBLE FOR ASSURING THAT ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS; AND THAT ALL INSTALLATIONS ARE IN PROPER WORKING ORDER.

THE BUILDER SHALL BE RESPONSIBLE FOR ASSURING THAT ALL STRUCTURAL MEMBERS AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS. STRUCTURAL SPECIFICATIONS PROVIDED BY A BC REGISTERED PROFESSIONAL STRUCTURAL ENGINEER SHALL TAKE PRECEDENCE OVER STRUCTURAL INFORMATION PROVIDED ON THESE DRAWINGS.

INSTALL GUARDRAILS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION IN ALL LOCATIONS WHERE PUBLIC OR PRIVATE WALKWAYS, VIEWING POSITIONS, STAIRWAYS, ETC. ABUT ABRUPT DROPS TO THE ADJACENT GRADE 24" OR MORE IN HEIGHT. THE CONTRACTOR SHALL ENSURE THAT THE MANUFACTURE AND INSTALLATION OF GUARDRAILS MEET THE BC BUILDING CODE REQUIREMENTS FOR LATERAL RESTRAINT.

ALL STAIRWAYS SHALL BE CONSTRUCTED AS PER THE BRITISH COLUMBIA BUILDING CODE, SECTION 9.8, NOTING IN PARTICULAR THE FOLLOWING:

- SLIP RESISTANT SURFACE TREATMENTS AND FINISHES AS PER ARTICLE 9.8.9.6;
- HANDRAIL CONSTRUCTION AS PER SUBSECTION 9.8.7;
- GUARDRAIL CONSTRUCTION AS PER SUBSECTION 9.8.8;

KITCHEN AND BATHROOM CABINETRY INDICATED ON DRAWINGS IS DIAGRAMMATIC ONLY. MILLWORK DETAILS SHALL BE PROVIDED BY OTHERS.

INTERIOR FLOOR, CEILING, AND WALL FINISHES; SPECIFICATIONS FOR ELECTRICAL AND PLUMBING FIXTURES AND EQUIPMENT; SPECIFICATIONS FOR APPLIANCES OR APPLIANCE ROUGH-INS; AND SPECIFICATIONS FOR WINDOWS AND DOORS SHALL BE THE RESPONSIBILITY OF THE OWNER OR BUILDER.

CONCEALED SPACES SHALL BE FIRESTOPPED AS PER SUBSECTION 3.1.11 OR 9.10.16 OF THE BC BUILDING CODE.

CONSULT ALSO BUILDING ENVELOPE ENGINEER'S DETAILS. BUILDING ENVELOPE DETAILS OF THE BC BUILDING CODE.

CONSULT ALSO BUILDING ENVELOPE ENGINEER'S DETAILS. BUILDING ENVELOPE DETAILS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THESE DRAWINGS. INFORM OWNER OR CONTRACTOR OF ANY DISCREPANCIES.



NO.	ISSUED/REVISED
01	14FEB22 ISSUED FOR BUILDING PERMIT
02	21FEB22 REVISED SITE PLACEMENT
03	22FEB22 CRAWL SPACE HEIGHT ADJUSTMENT

© COPYRIGHT  
THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM SAME. THE DRAWINGS CONTAINED WITHIN WERE PREPARED FOR THIS PROJECT ONLY.



### PROJECT TITLE

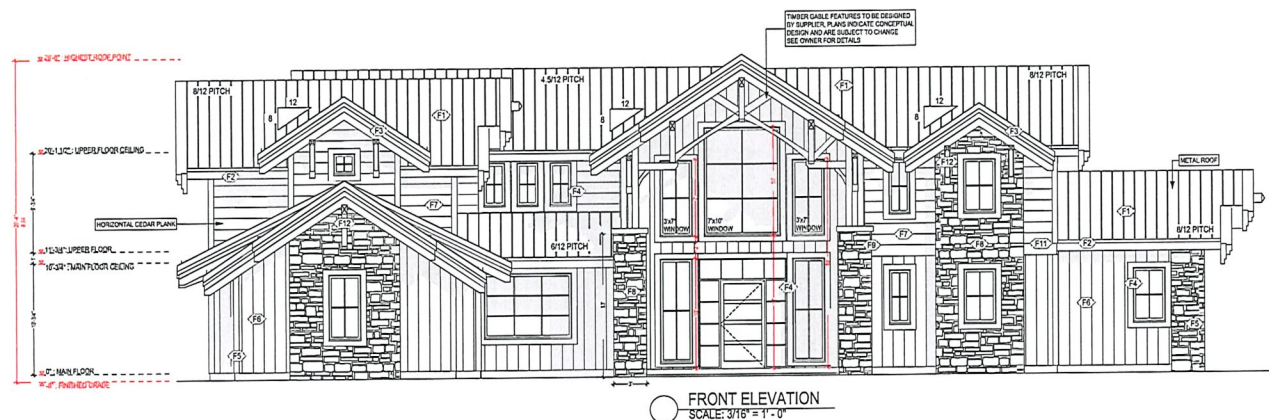
**MIDCO HOLDINGS LTD.**  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

### DRAWING TITLE

GENERAL NOTES | CODES & STANDARDS

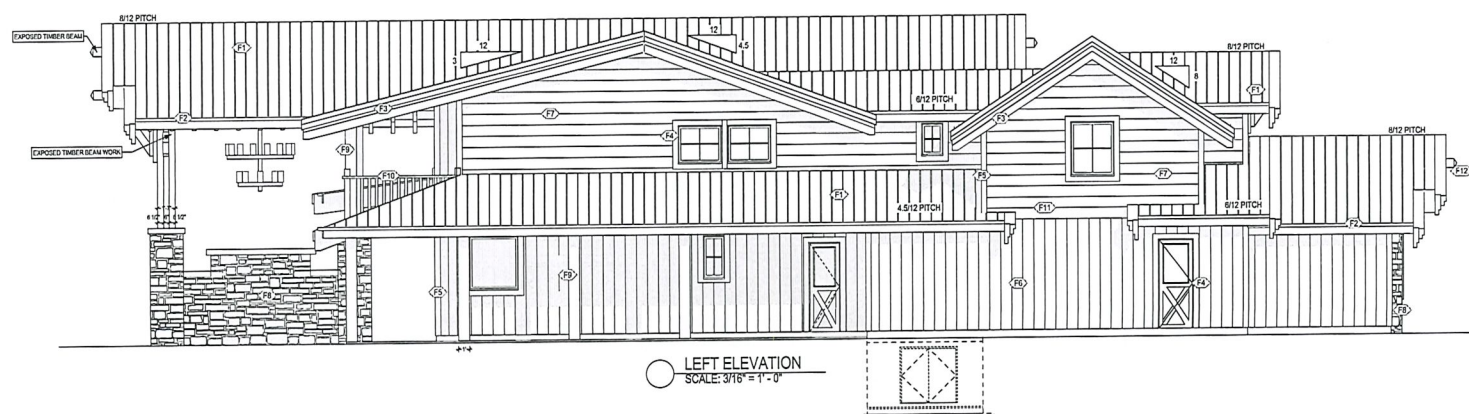
DATE 22FEB22	PROJECT NO 1028	SHEET NUMBER A.00
DRAWN BY RH	APPROVED BY CL	
DATE SEE DRAWINGS		





EXTERIOR FINISH MATERIALS LEGEND

- |  |  |
|--|--|
| (F1) ROOFING:<br>STANDING SEEM METAL ROOFING   | (F7) WALL FINISH 2:<br>HORIZONTAL 12" CEDAR PLANK (STAINED AS PER OWNER)<br>RAINSCREEN AS PER BCBC |
| (F2) GUTTER AND SOFFIT:<br>ALUMINUM GUTTER WITH 12" WOOD FASCIA BOARD                            | (F8) POST FEATURE MATERIAL:<br>STONE WORK  |
| (F3) GABLE FASCIA BOARD:<br>CUSTOM TIMBER DESIGN - SEE SUPPLIER FOR DETAILS                      | (F9) POSTS:<br>12X12 TIMBER POSTS<br>IF BUILT OUT WILL BE NOTED ON PLANS / ELEVATIONS              |
| (F4) WINDOW AND DOOR TRIMS:<br>1X6 TRIM BOARDS - SEE OWNER FOR MATERIAL                          | (F10) GUARD RAILS:<br>42" HIGH NON CLIMBABLE - SEE OWNER FOR FINISH                                |
| (F5) CORNER TRIM:<br>1X6 CORNER BOARDS - SEE OWNER FOR MATERIAL                                  | (F11) BELLY BAND:<br>2X12 BELLY BAND WITH METAL FLASHING   |
| (F6) WALL FINISH 1:<br>VERTICAL 12" CEDAR PLANK (STAINED AS PER OWNER)<br>RAINSCREEN AS PER BCBC | (F12) DECORATIVE KNEE BRACE:<br>CEDAR - STAINED AS PER OWNER                                       |



NO.	ISSUED / REVISED
01	14FEB22 ISSUED FOR BUILDING PERMIT
02	21FEB22 REVISED SITE PLACEMENT
03	22FEB22 DRAWL SPACE HEIGHT ADJUSTMENT
04	23FEB22 DOORS IN DINING AREA ADJUSTED
05	25FEB22 REVISED SITE PLACEMENT



© COPYRIGHT  
THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM SAID. THE DRAWINGS CONTAINED WITHIN WERE PREPARED FOR THIS PROJECT ONLY.



PROJECT TITLE

MIDCO HOLDINGS LTD.  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

DRAWING TITLE

FRONT AND LEFT ELEVATIONS

DATE	PROJECT NO.	SHEET NUMBER
23FEB22	1028	A.02
DRAWN BY NH	REVIEWED BY CL	
NOT SEE DRAWINGS		



- |           |   |            |   |
|-----------|---|------------|---|
| <b>F1</b> | ROOFING:<br>STANDING SEEM METAL ROOFING   | <b>F7</b>  | WALL FINISH 2:<br>HORIZONTAL 1" CEDAR PLANK (STAINED AS PER OWNER)<br>RANSICREED AS PER BDC |
| <b>F2</b> | GUTTER AND SOFFIT:<br>ALUMINUM GUTTER WITH 12" WOOD FASCIA BOARD                          | <b>F8</b>  | POST FEATURE MATERIAL:<br>STONE WORK  |
| <b>F3</b> | CABLE FASCIA BOARD:<br>CUSTOM TIMBER DESIGN - SEE SUPPLIER FOR DETAILS                    | <b>F9</b>  | POSTS:<br>12X12 TIMBER POSTS<br>IF BUILT OUT WILL BE NOTED ON PLANS / ELEVATIONS            |
| <b>F4</b> | WINDOW AND DOOR TRIMS:<br>1X6 TRIM BOARDS - SEE OWNER FOR MATERIAL                        | <b>F10</b> | GUARD RAILS:<br>42" HIGH NON CLIMBABLE - SEE OWNER FOR FINISH                               |
| <b>F5</b> | CORNER TRIM:<br>1X6 CORNER BOARDS - SEE OWNER FOR MATERIAL                                | <b>F11</b> | BELLY BAND:<br>2X12 BELLY BAND WITH METAL FLASHING  |
| <b>F6</b> | WALL FINISH 1:<br>VERTICAL 1" CEDAR PLANK (STAINED AS PER OWNER)<br>RANSICREED AS PER BDC | <b>F12</b> | DECORATIVE KNEE BRACE:<br>CEDAR - STAINED AS PER OWNER                                      |



NO.	ISSUED / REVISED
01	14FEB22 ISSUED FOR BUILDING PERMIT
02	21FEB22 REVISED SITE PLACEMENT
03	22FEB22 CRAWL SPACE HEIGHT ADJUSTMENT
04	23FEB22 DOORYS IN DINING AREA ADJUSTED
05	25FEB22 REVISED SITE PLACEMENT

**IF YOU CAN DREAM IT, WE CAN DESIGN IT**

**CARMA**

CONCRETE ARCHITECTURAL REINFORCEMENT MATERIALS

10000 W. 10th Avenue, Suite 100, Denver, CO 80231  
 (303) 751-1000

THIS PLAY AND DESIGN ARE, AT ALL TIMES, PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAWS AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM SAME. THE DRAWINGS CONTAINED WITHIN WERE PREPARED FOR THIS PROJECT ONLY.

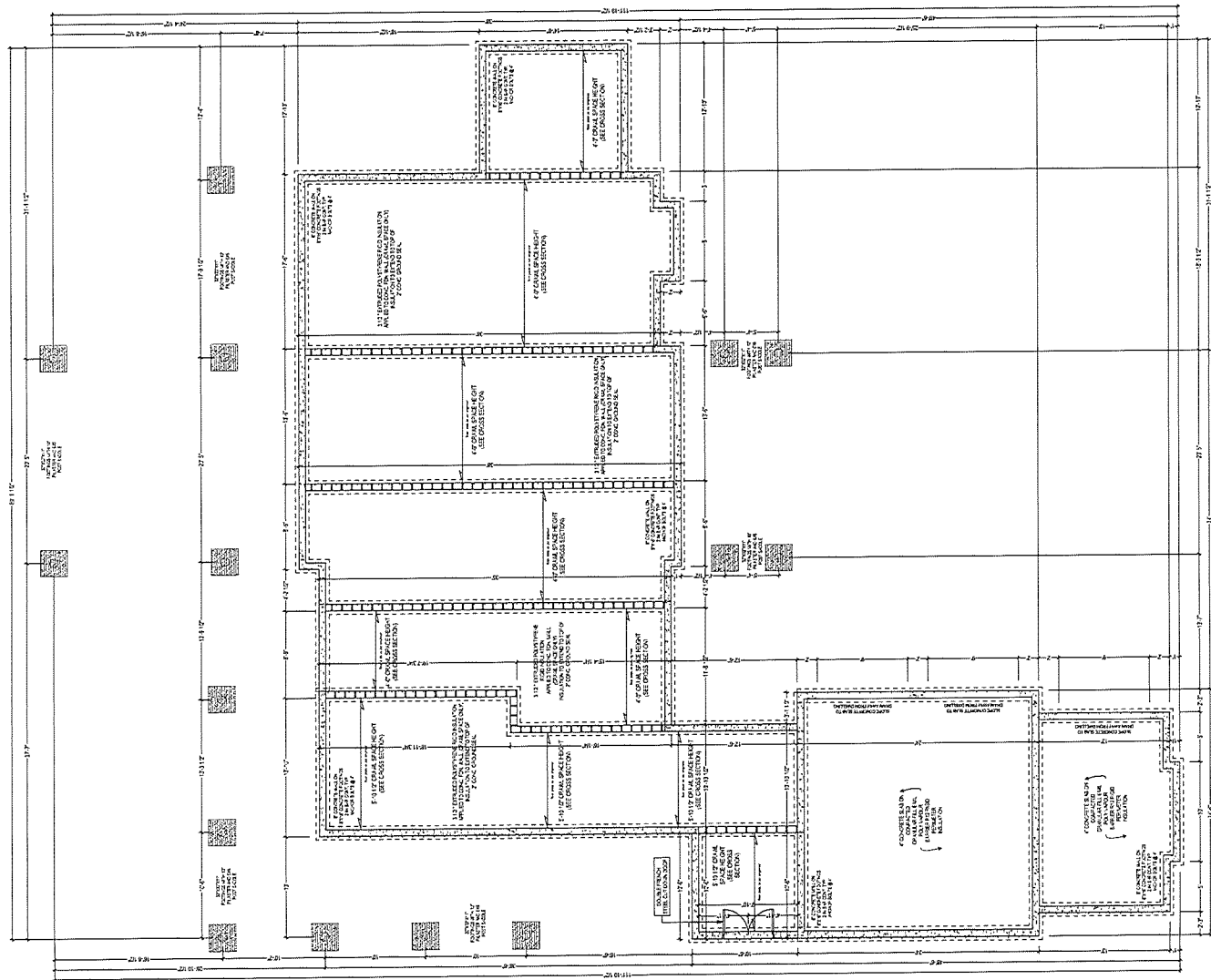


PROJECT TITLE

**MIDCO HOLDINGS LTD.**  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

DRAYING TITLE  
REAR AND RIGHT ELEAVTIONS

DATE 24FEB22	PROJECT NO 1025	SHEET NUMBER  A.03
DRAWN BY NH	REVIEWED BY CL	
NOTE SEE DRAWINGS		



FOUNDATION PLAN (WITH CRAWL)  
SCALE: 3/16" = 1'-0"

NO.	ISSUED / REVISED
01	14FEB22 ISSUED FOR BUILDING PERMIT
02	21FEB22 REVISED SITE PLACEMENT
03	22FEB22 CRAWL SPACE HEIGHT ADJUSTMENT
04	22FEB22 DOORS IN DINING AREA ADJUSTED
05	25FEB22 REVISED SITE PLACEMENT

© COPYRIGHT  
THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM SAME. THE DRAWINGS CONTAINED WITHIN WERE PREPARED FOR THIS PROJECT ONLY.



PROJECT TITLE

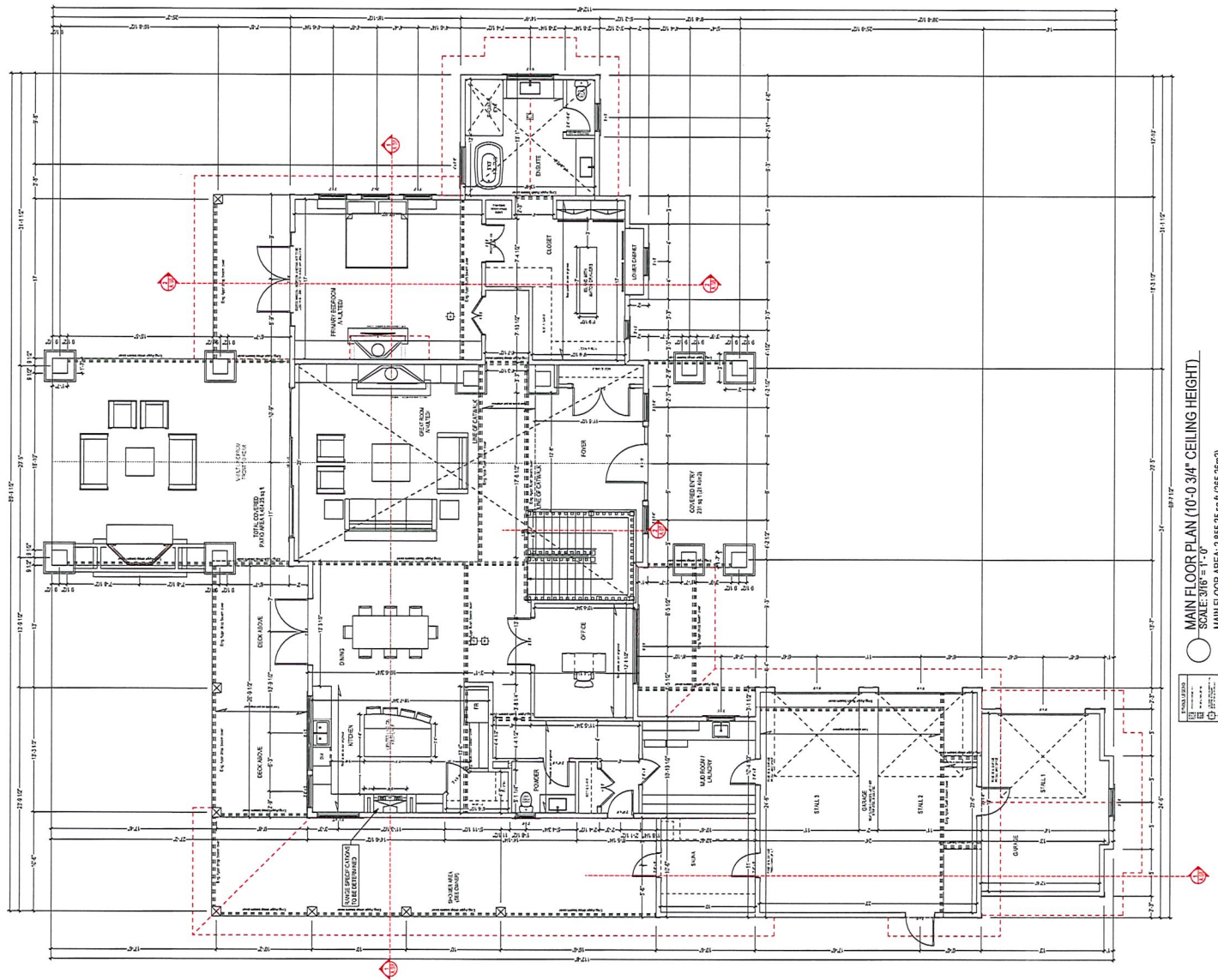
**MIDCO HOLDINGS LTD.**  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

DRAWING TITLE

FOUNDATION PLAN

DATE	PROJECT NO.	SHEET NUMBER
25FEB22	1028	
DRAWN BY NH	REVIEWED BY CL	A.04

NOT SEE DRAWINGS



MAIN FLOOR PLAN (10'-0 3/4" CEILING HEIGHT)  
 SCALE: 3/16" = 1'-0"  
 DATE: 25 FEB 2022  
 DRAWN BY: CL  
 CHECKED BY: CL  
 GARAGE AREA: 674.55 sq ft (62.77 m<sup>2</sup>)

REVISIONS  
 1. 25 FEB 2022  
 2. 25 FEB 2022  
 3. 25 FEB 2022

NO.	ISSUED / REVISED
01	14 FEB 22 ISSUED FOR BUILDING PERMIT
02	21 FEB 22 REVISED SITE PLACEMENT
03	23 FEB 22 CHAIR SPACE HEIGHT ADJUSTMENT
04	23 FEB 22 DOORS TO DINING AREA ADJUSTED
05	23 FEB 22 REVISED SITE PLACEMENT
06	24 JUN 22 ALC COMMENTS ADDRESSED

© COPYRIGHT  
 THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM CARMA. THE DRAWINGS CONTAINED WITHIN WERE PREPARED FOR THIS PROJECT ONLY.



PROJECT TITLE  
**MIDCO HOLDINGS LTD.**  
 6551 LAKES ROAD - LOT 4  
 DUNCAN B.C. V9L 5V7

DRAWING TITLE  
 MAIN FLOOR PLAN

DATE	PROJECT NO.	SHEET NUMBER
25 FEB 2022	1028	A.05
DRAWN BY NH	REVIEWED BY CL	
NOTE SEE DRAWINGS		





## NOTES

- ALL WINDOWS TO BE VINYL - RAINSCREEN AS PER BCBC GLASS IN DOORS AND SIDELIGHTS SHALL BE LAMINATED SAFETY GLASS
- WINDOWS / DOORS / SKYLIGHTS AND THEIR INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTION BETWEEN POLY VAPOUR BARRIER AND THE WINDOW
- STAIRS: IF SHOWN SHALL HAVE 7 1/2" RISER WITH 10 1/4" TREAD AND 1" NOSING WITH CONTINUOUS HANDRAIL
- TRUSS SYSTEM INDICATED ON DRAWINGS IS DIAGRAMMATIC ONLY
- CABINERY INDICATED ON DRAWINGS IS DIAGRAMMATIC ONLY
- 4" NON CLIMBABLE CONTINUOUS GUARDRAIL
- NON CLIMBABLE CONTINUOUS HANDRAIL - AS PER BCBC
- DOOR PACKAGE DESIGNS INDICATED ON DRAWINGS IS DIAGRAMMATIC ONLY - DOOR SIZES INDICATED ON FLOOR PLANS
- WALL PENETRATIONS: ALL ELECTRICAL PENETRATIONS IN EXTERIOR WALLS MUST BE AIRTIGHT BY SEALING THEM TO THE POLY VAPOUR BARRIER

ALL MECHANICAL, PLUMBING OR ELECTRICAL COMPONENTS WITHIN THE EXTERIOR WALLS AND GARAGE TO HOUSE WALL MUST BE INSULATED TO SAME EFFECTIVE LEVEL AS REQUIRED FOR THE WALL

IF ELECTRICAL PANEL IS LOCATED IN GARAGE WALLS, USE RIGID INSULATION BEHIND CAVITY TO MAINTAIN SAME EFFECTIVE LEVEL AS GARAGE WALLS

CRAWLSPACE - CONDITIONED HEATED SPACE  
TRANSFER GRILLS: MINIMUM 8 TRANSFER GRILLS REQUIRED FROM CRAWLSPACE TO MAIN FLOOR (AS PER 9.3.2.3.7)

TOTAL EFFECTIVE RSI FOR CEILING BELOW ATTIC	
Standing Green Metal Roofing	0
Building Paper	0
1/2" Sheathing	0.03
Exterior Air Film	0.03
R40 Down Fungus Insulation	1.47
Wood Trusses @ 24" O.C.	
R20+100(11.76)76+100(1.87) = 1.47	
6 MIL Poly Vapor Barrier	0
1/2" Gypsum Board	0.08
Interior Air Film	0.11
<b>RSI=2.07</b>	

TOTAL EFFECTIVE RSI FOR EXTERIOR WALLS AGAINST LOWER ROOF	
Exterior Air Film	0.03
7/16" OSB Sheathing	0.11
2x6 Wood Studs @ 16" O.C. with	
R-12 Batt Insulation	2.55
6 MIL POLY V.B.	
R20+100(23.19)+100(7.73)= 2.55	
1/2" Gypsum Board	0.08
Interior Air Film	0.12
<b>RSI=4.89</b>	

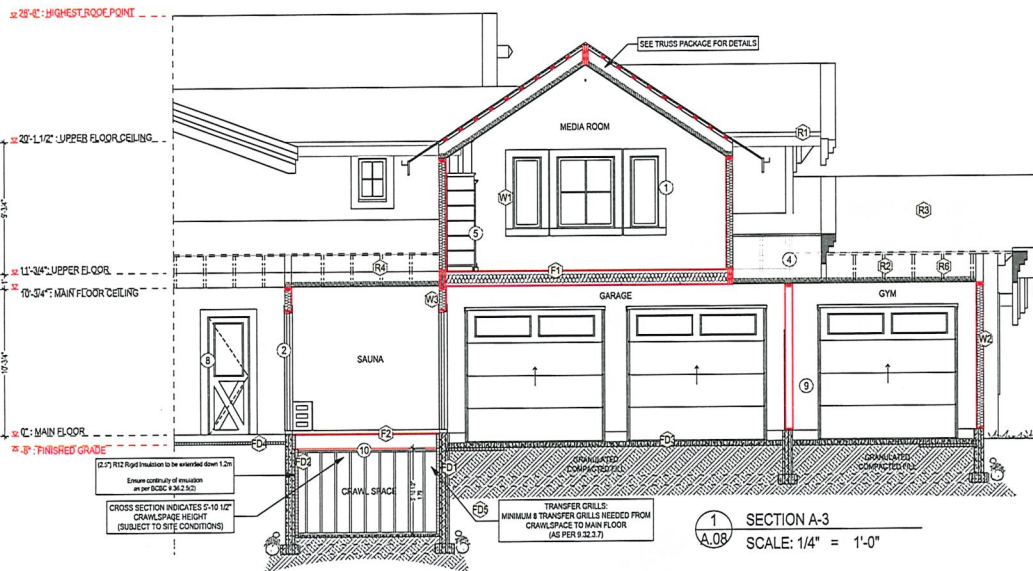
TOTAL EFFECTIVE RSI FOR EXTERIOR WALLS ABOVE GARAGE	
Exterior Air Film	0.03
Color Siding	0.08
1/2" Sheathing	0.03
1/2" Sheathing	0.11
7/16" OSB Sheathing	
2x6 Wood Studs @ 16" O.C. with	
R-20 Batt Insulation	2.36
6 MIL POLY V.B.	
R20+100(23.19)+100(7.73)= 2.36	
1/2" Gypsum Board	0.08
Interior Air Film	0.12
<b>RSI=5.12</b>	

TOTAL EFFECTIVE RSI FOR HOUSE TO GARAGE WALLS	
Exterior Air Film	0.03
1/2" Gypsum Board	0.08
2x6 Wood Studs @ 16" O.C. with	
R-20 Batt Insulation	2.36
6 MIL POLY V.B.	
R20+100(23.19)+100(7.73)= 2.36	
1/2" Gypsum Board	0.08
Interior Air Film	0.12
<b>RSI=6.67</b>	

TOTAL EFFECTIVE RSI FLOOR OVER GARAGE	
Exterior Air Film	0.03
1/2" Gypsum Board	0.08
2x6 Wood Studs @ 16" O.C. with	
R21 Batt Insulation	4.70
3/4" Sheathing	0.16
Interior Air Film	0.11
<b>RSI=5.131</b>	

TOTAL EFFECTIVE RSI FOR UNHEATED FLOORS ABOVE FIRST LINE	
Interior Air Film	0.11
4" Poured in Place Concrete	2.11
2 1/2" RIGID INSULATION	0.03
Exterior Air Film	0.03
<b>RSI=2.25</b>	

TOTAL EFFECTIVE RSI FOR FOUNDATION WALLS	
Damp Proofing	0
8" Expanded Polystyrene Foundation Wall	0.03
(2.5) RIGID INSULATION	0.03
<b>RSI=4.19</b>	



## CONSTRUCTION ASSEMBLIES AND NOTES

### FOUNDATION CONSTRUCTION

- 8" CONCRETE FOUNDATION WALL (SEE STRUCT) 15M BARS BOTH WAYS @ 24" O.C. CW 1/2" ANCHOR BOLTS @ 4" O.C. ON 16"X8" CONCRETE STRIP FOOTINGS (3 STOREYS) OR 16"X8" CONCRETE STRIP FOOTINGS (3 STOREYS) CONCRETE STRIP FOOTINGS AND PAD FOOTINGS DESIGNED BY STRUCTURAL ENGINEER
- SOLID UNDISTURBED BEARING GEOTECHNICAL REPORT OR GEOTECHNICAL ENGINEER MAY BE REQUIRED TO VERIFY SOIL CONDITIONS
- 3 1/2" EXTRUDED POLYSTYRENE RIGID INSULATION APPLIED TO CONC. FDN. WALL (DRAIN SPACE ONLY) INSULATION TO EXTEND TO TOP OF 2" CONC. GROUND SEAL
- 4" CONCRETE SLAB SLOPE TO OH GARAGE DOORS MIN 1" OR PROVIDE 2" MIN AIR TIGHT CURBSTEP DOWN TO GARAGE FLOOR SLAB FROM ADJACENT INTERIOR SPACES 6 MIL POLY V.B. COMPACTED GRANULAR FILL
- 4" CONCRETE SLAB SLOPE EXTERIOR SLABS 2% AWAY (15' MIN AWAY FROM BUILDING BUILDER TO DETERMINE FINISHES) AND EXTENTS OF EXTERIOR CONCRETE SLABS ON SITE COMPACTED GRANULAR FILL
- INSTALL PERIMETER DRAIN SYSTEM DAMP PROOFING WHERE REQUIRED CONCRETE FOUNDATION WALL 4" DRAIN TILE WITH 6" MIN. GRUSHED GRAVEL OVER 3" RAIN WATER LEADER PIPE WITH FILTER CLOTH
- 3/4"X3/4"X12" CONCRETE STRIP FOOTINGS WITH 1/2" PLASTER AND 6X6 POST SADDLE (NOT SHOWN)

### FLOORING SYSTEM

- FINISHED FLOORING 19/32" OSB SUBFLOOR GLUED AND SCREWED TO 2x12 JOISTS @ 16" OR 12" O.C. (BY MANU.) CROSS BRIDGING @ 7'-0" MAX. 1/2" GYPSUM BOARD (SEE STRUCTURAL ENGINEER DRAWINGS)
- FINISHED FLOORING - (MAIN FLOOR TO CRAWL SPACE) 19/32" OSB SUBFLOOR GLUED AND SCREWED TO 2x12 JOISTS @ 16" OR 12" O.C. (BY MANU.) CROSS BRIDGING @ 7'-0" MAX. (SEE STRUCTURAL ENGINEER DRAWINGS)
- DECKING MEMBRANE (TO COMPLY WITH CAN/CSG 37.54) ON 19/32" ORIENTED STRAND BOARD CW 1" CLIPS 2x10 DECK JOISTS @ 16" O.C. CW (SEE STRUCT.) PROVIDE ALUMINUM MEMBRANE "UPSTAND" @ EXT. WALL. PROVIDE SLOPED WOOD TAPERS @ 1:50 SLOPE OR SLOPE JOISTS TO PROVIDE MIN. 1:50 SLOPE

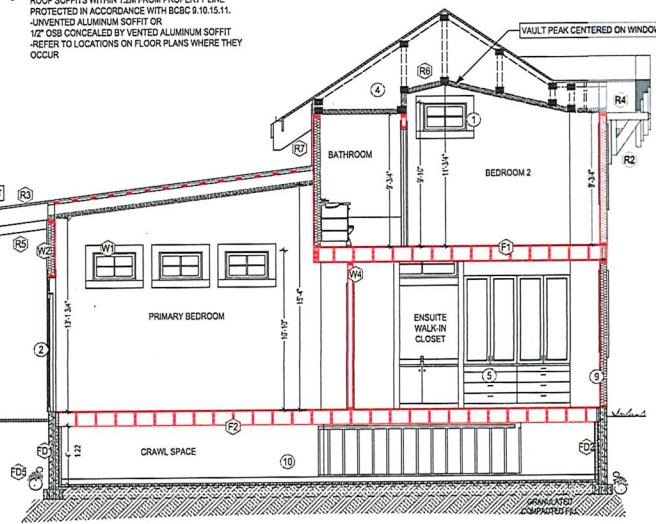
### WALLS AND WINDOWS

- DOUBLE GLAZING ENERGY STAR LOW E RATING THERMAL BREAK FRAMES GLAZING WITHIN 3 FEET FROM EXTERIOR DOORS OR ADJACENT TO TUBS OR SHOWERS TO BE SHATTER PROOF GLAZING WINDOWS AND DOORS TO COMPLY WITH BCBC 9.7. AND BCBC TABLE C-5
- EXTERIOR FINISHES (REFER TO ELEVATIONS) 7/16" OSB SHEATHING 2X6 STUDS (SEE STRUCT FOR SPACING) R-20 BATT INSULATION 6 MIL POLY V.B. 1/2" GYPSUM BOARD
- GARAGE WALLS ADJACENT TO INTERIOR SPACES 1/2" GYPSUM BOARD (INTERIOR SIDE) 2X6 STUDS (SEE STRUCT FOR SPACING) R-20 BATT INSULATION 6 MIL POLY V.B. 5/8" GYPSUM BOARD (GARAGE SIDE) (NOT SHOWN)
- INTERIOR PARTITION 1/2" GYPSUM BOARD BOTH SIDES MOISTURE RESISTANT GYPSUM BOARD IN ALL BATHROOMS 2X4 STUDS (OR 2X6 IF SHOWN)

### ROOFING SYSTEM & COMPONENTS

- CONTINUOUS GUTTERS
- VENTED SOFFITS ROOF OVERHANGS (NON VENTED SOFFITS WILL BE NOTATED ON DRAWINGS)
- STANDING SEAM METAL ROOFING ON 1x4 STRAPPING, BUILDING PAPER, 7/16" O.S.B. (OR 1/2" PLYWOOD), 2x4 STRAPPING TO ALLOW FOR CROSS VENTILATION, ENGINEERED TRUSS DESIGNED BY SUPPLIER @ 24" O.C. TYP. - RAISED HEEL HEIGHTS ARE REQUIRED ON 8/12 PITCHED ROOFS TO KEEP ALL SOFFITS SAME (SEE ELEVATIONS / TRUSS SUPPLIER FOR DETAILS)
- PROVIDE ROOF VENTS: VENT 1/150 USING SHINGLEVENT II RIDGE VENT
- EAVE PROTECTION TO 12" BEYOND HEATED WALL 1.0 SQ. FT. ATTIC VENT SPACE PER 300 SQ. FT. OF INSULATED AREA IN COMPLIANCE WITH BCBC 9.19. MAINTAIN 2 1/2" CLEARANCE @ ROOF/WALL CONNECTION PROVIDE INSULATION Baffles AS REQUIRED 25% MIN REQUIRED @ TOP (RIDGE VENT) AND @ BOTTOM (ALUMINUM SOFFIT) ADDITIONAL VENTS MAYBE BE REQUIRED VERIFY IF CONTINUOUS RIDGE VENT IS NOT USED OR SOFFIT PROTECTION IS REQUIRED
- ALUMINUM GUTTER AND SOFFIT ROOF SOFFITS WITHIN 1.2M FROM PROPERTY LINE PROTECTED IN ACCORDANCE WITH BCBC 9.10.15.1. UNVENTED ALUMINUM SOFFIT OR 1/2" OSB CONCEALED BY VENTED ALUMINUM SOFFIT - REFER TO LOCATIONS ON FLOOR PLANS WHERE THEY OCCUR

SECTION A-4  
SCALE: 1/4" = 1'-0"



## PLEASE READ FOR DETAILS

POT LIGHTS  
RECESSED POT LIGHT HOUSINGS MUST BE SEALED TO POLY VAPOUR BARRIER  
ATTIC HATCH (WHEN APPLICABLE)  
APPLY INSULATION TO BACK OF ATTIC HATCH AND PROVIDE A CLOSED CELL FORM GASKET TO ENSURE PROPER AIR SEALING

PLUMBING STACKS  
PLUMBING VENT STACK PIPES MUST BE MADE AIRTIGHT BY SEALING THE AIR BARRIER TO VENT STACK WITH COMPATIBLE MATERIAL, SHEATING TAPE, OR A RUBBER GASKET AT THE CEILING

WALL TO CEILING  
ALL JOINTS AT TRANSITION BETWEEN EXTERIOR WALLS AND CEILING MUST BE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVERING WITH AN AIR BARRIER MATERIAL

INTERIOR AND EXTERIOR WALL INTERFACE  
ALL INTERIOR WALLS THAT MEET EXTERIOR WALLS OR ATTIC CEILING MUST BE MADE AIRTIGHT BY SEALING JUNCTION OR CONTINUING POLY VAPOUR BARRIER OF THE EXTERIOR WALLS

WINDOW, DOORS AND SKYLIGHTS  
INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTION BETWEEN POLY VAPOUR BARRIER AND THE OPENING WINDOW

SILL PLATES / RIM JOINTS  
ALL JOISTS AT CAVITIES MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVER WITH AIR BARRIER MATERIAL

## PRINCIPAL EXHAUST FAN

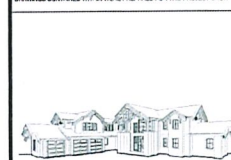
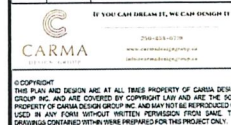
PRINCIPAL EXHAUST FAN LOCATED IN: POWDER ROOM  
CAPACITY: (65) PASCAL A MIN. VENTILATION RATE OF 49 AS PER 9.3.2.3.5  
NOTE: MUST BE WIRED TO RUN CONTINUOUSLY, CONTROLLED BY DEDICATED SWITCH, SOUND RATING NOT TO EXCEED 1.0 SOME (SEE TABLE 9.3.2.3.A)

## HEAT SOURCE

DUCTED HEAT PUMP  
SPECIFICATION AND INSTALLATION TO BE PROVIDED BY QUALIFIED PROFESSIONAL



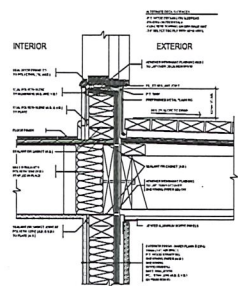
NO.	ISSUED / REVISED
01	1/25/22 ISSUED FOR BUILDING PERMIT
02	2/15/22 REVISED SITE PLACEMENT
03	2/25/22 CRAWL SPACE HEIGHT ADJUSTMENT
04	2/25/22 DOORS IN DINING AREA ADJUSTED
05	2/25/22 REVISED SITE PLACEMENT



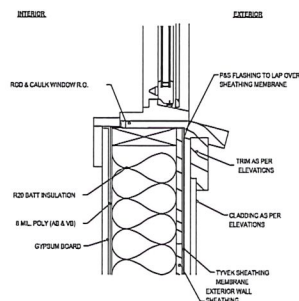
PROJECT TITLE  
**MIDCO HOLDINGS LTD.**  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

DRAWING TITLE  
**CROSS SECTION A-3 AND A-4**

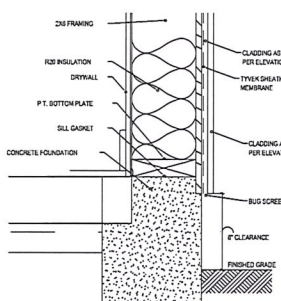
DATE	PROJECT NO.	SHEET NUMBER
2/25/22	1028	A.08
DRAWN BY NH	DESIGNED BY CL	
DATE 2/25/22	SCALE 1/4" = 1'-0"	



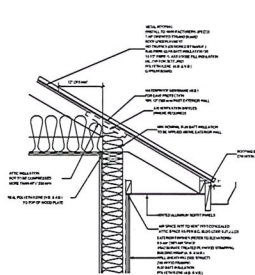
RAISED DOOR SILL



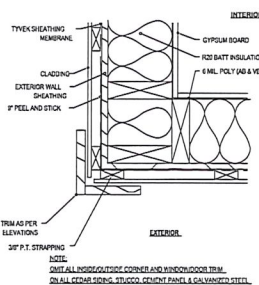
WINDOW JAMB



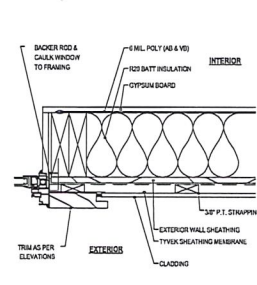
FOUNDATION TO WALL



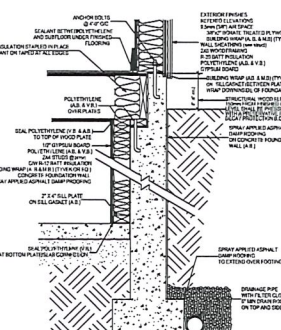
WATER SHEDDING ROOF / WALL



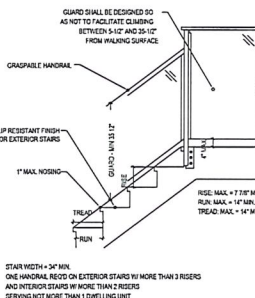
EXTERIOR CORNER



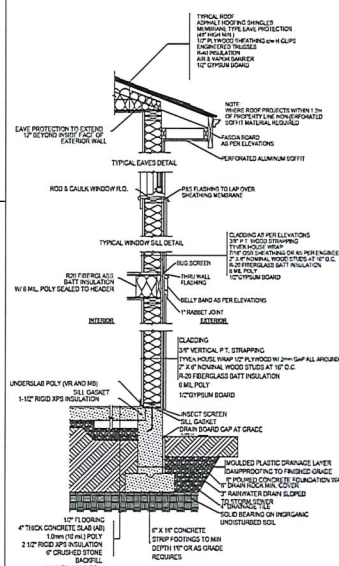
WINDOW PLAN VIEW



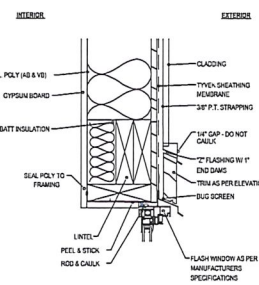
CONCRETE JOIST LEDGE



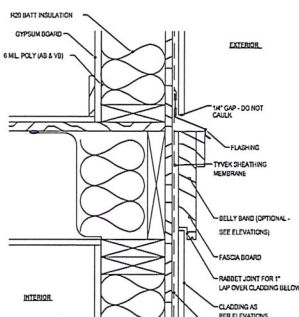
HANDRAIL 3/4" x 1"



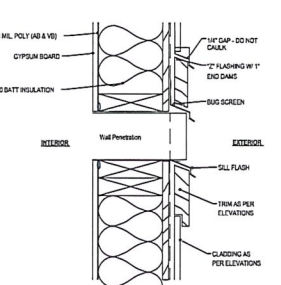
TYPICAL WALL SECTION



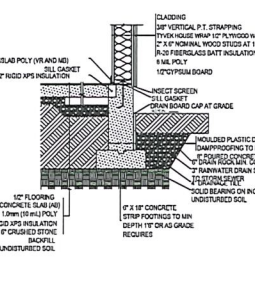
WINDOW HEAD



TRIMMER JOIST



WALL PENETRATION



SLAB ON GRADE

GENERAL NOTE:  
THESE ARE 'TYPICAL' DETAILS AND DO NOT  
DETAIL EVERY ASPECT OF APPLICATION.  
FOR MORE INFORMATION REFER TO:  
\*A REFERENCE GUIDE OF TYPICAL RAINSCREEN WALL &  
WINDOW DETAILS & THE MANUFACTURERS SPECIFICATIONS

NO.	ISSUED / REVISED
01	1/25/2022 ISSUED FOR BUILDING PERMIT
02	2/15/2022 REVISED SITE PLACEMENT
03	2/25/2022 DRAINAGE HEIGHT ADJUSTMENT
04	2/25/2022 DOORS IN DINING AREA ADJUSTED
05	2/25/2022 REVISED SITE PLACEMENT



PROJECT TITLE  
**MIDCO HOLDINGS LTD.**  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V8L 5V7

DRAWING TITLE  
DETAILS PAGE

DATE	PROJECT NO.	SHEET NUMBER
2/25/2022	1028	
DRAWN BY	REVIEWED BY	
SEE DRAWINGS	CL	D.00

## GENERAL NOTES CODES & STANDARDS

### STANDARDS

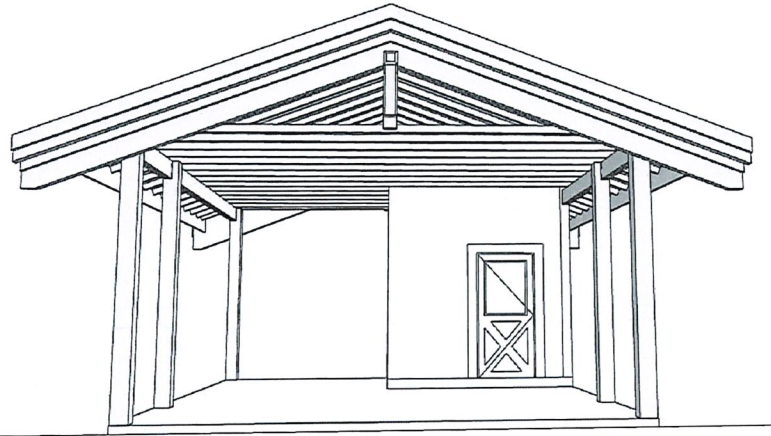
- THESE DRAWINGS CONFORM TO THE BUILDING CODE IN FORCE IN BRITISH COLUMBIA AT THE TIME OF THEIR PREPARATION. THE OWNER OR BUILDER SHALL ENSURE THAT THE BUILDING CONSTRUCTED FROM THESE DRAWINGS COMPLIES WITH THE REQUIREMENTS OF THE BUILDING CODE IN FORCE AT THE TIME OF ITS CONSTRUCTION AND, ADDITIONALLY, COMPLIES WITH LOCAL BY-LAWS AND REGULATIONS.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES SHALL CONFORM TO THOSE OUT-LINED BY THE CURRENT BRITISH COLUMBIA BUILDING CODE. IN ADDITION, APPLY OR INSTALL ALL MATERIALS AND EQUIPMENT ACCORDING TO THEIR MANUFACTURERS' INSTRUCTIONS AND SPECIFICATIONS.
- THE BUILDER SHALL REVIEW AND VERIFY ALL DIMENSIONS, INFORMATION, AND SPECIFICATIONS SHOWN ON THE DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.
- RESOLUTION OF VARIANCES FROM THE DRAWINGS OR SPECIFICATIONS CAUSED BY EXTENUATING CIRCUMSTANCES SUCH AS UNAVAILABILITY OF MATERIALS, UNUSUAL SITE CONDITIONS, OWNER PREFERENCES, ETC. SHALL BE THE SOLE RESPONSIBILITY OF THE BUILDER AND/OR OWNERS.
- THE BUILDER SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT OF ALL BUILDING COMPONENTS DURING CONSTRUCTION AND SHALL NOT ALLOW MATERIAL STORAGE OR CONSTRUCTION PROCEDURES TO EXCEED THE DESIGN LOADS OF THE COMPONENTS SUPPORTING THEM.
- THE BUILDER SHALL TAKE CARE TO PROTECT PUBLIC SAFETY DURING CONSTRUCTION AS OUTLINED IN THE CURRENT BRITISH COLUMBIA BUILDING CODE AND BY ANY OTHER REGULATORY BODY HAVING JURISDICTION.
- THESE DRAWINGS SHOW THE DESIGN INTENT OF THE COMPLETED BUILDING. THEY DO NOT NECESSARILY INDICATE TEMPORARY STRUCTURES SUCH AS CONCRETE FORM-WORK OR TEMPORARY BRACING, SEQUENCE OF CONSTRUCTION, ASSEMBLY PROCEDURES, ETC.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE.
- HORIZONTAL DIMENSIONS ARE TAKEN AT THE FACE OF SHEATHING OR CONCRETE ON EXTERIOR WALLS AND AT THE FACE OR CENTRE-LINE OF STUDS OR CONCRETE AS INDICATED ON INTERIOR WALLS. VERTICAL DIMENSIONS ARE TAKEN AT TOP OF CONCRETE SLAB, FLOOR SHEATHING, OR WALL PLATE AS INDICATED.
- ROOM SIZES, IF INDICATED ON THE PLANS, ARE NOMINAL ONLY. MEASURE ACTUAL SITE CONDITIONS BEFORE ORDERING MATERIALS OR EQUIPMENT THAT ARE DEPENDENT ON EXACT SIZES.
- IN INSTANCES WHERE THESE NOTES CONFLICT WITH ENGINEERING DRAWINGS AND SPECIFICATIONS THE ENGINEERING INFORMATION SHALL TAKE PRECEDENCE.

### SITE WORK

- THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THE BUILDING AS INDICATED ON THE DRAWINGS AS WELL AS ENSURING COMPLIANCE WITH ALL REGULATIONS GOVERNING IT. REGULATORY BY-LAWS SHALL TAKE PRECEDENCE.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE OWNER OR BUILDER SHALL TAKE MEASURES TO INDICATE AND PROTECT ANY EXISTING VEGETATION OR OTHER NATURAL OR MAN-MADE FEATURES THAT ARE NOT TO BE DISTURBED BY CONSTRUCTION PROCESSES.
- ALL ORGANIC MATTER SHALL BE STRIPPED FROM THE LOCATION OF THE PROPOSED STRUCTURE, INCLUDING BENEATH ITS DECKS, PATIOS, WALKWAYS, ETC. FILL AREAS SERVING AS BASES FOR CONCRETE SLABS OR MASONRY PAVERS WITH CLEAN GRANULAR MATERIAL FREE OF ORGANIC MATTER IN MAXIMUM 6" LIFTS COMPACTED BY VIBRATION TO 98% STANDARD DRY PROCTOR DENSITY.
- SLOPE FINISHED GRADES DOWN AWAY FROM THE BUILDINGS AT A MINIMUM OF 1% TO FACILITATE RUN OFF OF SURFACE WATER. DIRECT AND DRAIN RUN-OFF WATER IN A MANNER SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION.

### CONCRETE AND FOUNDATIONS

- GARAGE AND CARPORT CONCRETE FLOOR SLABS AND EXTERIOR CONCRETE STAIRS, IF ANY, SHALL BE CONSTRUCTED WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 32 Mpa AT 28 DAYS. ALL OTHER CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 Mpa AT 28 DAYS.
- FOOTINGS SHALL EXTEND TO SUITABLE UNDISTURBED OR ADEQUATELY COMPACTED SOIL BELOW THE FROST PENETRATION DEPTH (EXCEPT IN THE CASE OF SOLID ROCK).
- THE FOOTINGS (IF) INDICATED ON THESE DRAWINGS ASSUME A 100 Kpa SOIL BEARING CAPACITY. IF LESSER BEARING CAPACITY IS ENCOUNTERED, THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR ENGAGING QUALIFIED PROFESSIONAL ENGINEERING PERSONNEL TO ANALYZE EXISTING CONDITIONS AND TO RE-DESIGN AND CERTIFY THE FOOTINGS AS NECESSARY TO SUIT.
- LATERALLY UNSUPPORTED FOUNDATION WALLS EXCEEDING THE LIMITS STATED IN THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A QUALIFIED PROFESSIONAL STRUCTURAL ENGINEER.
- ALLOW OPENINGS IN FOUNDATIONS FOR SERVICES AS REQUIRED. DETERMINE REQUIREMENTS PRIOR TO PLACING CONCRETE.
- FORM THE DEPRESSIONS AND OTHER IRREGULARITIES IN FOUNDATION WALL SURFACES SHALL BE FILLED WITH GROUT OR OTHER SUITABLE MATERIAL TO CREATE RELATIVELY SMOOTH SURFACES.
- CONCRETE SLABS SHALL BE PLACED ON A MINIMUM OF 6" OF CLEAN GRANULAR FILL FREE OF ORGANIC MATTER AND COMPACTED BY VIBRATION TO 98% STANDARD DRY PROCTOR DENSITY.
- DAMP PROOF FOUNDATION WALLS WITH TWO COATINGS OF ASPHALT EMULSION OR EQUIVALENT MATERIAL BELOW FINISHED GRADE.
- CONCRETE AND MASONRY STRUCTURES EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER. THE OWNER OR BUILDER SHALL TAKE RESPONSIBILITY FOR OBTAINING SUCH DESIGN AND CERTIFICATION AS REQUIRED.



### CARPENTRY

- FRAMING LUMBER SHALL BE NO. 1 & 2 SPF UNLESS INDICATED OTHERWISE.
- PROTECT ALL LUMBER IN CONTACT WITH CONCRETE BY INSTALLING A 45LB. FELT OR 6 MIL. POLYETHYLENE DAMP PROOFING LAYER OR OTHER APPROVED METHOD.
- ANCHOR SILL PLATES TO CONCRETE FOUNDATION WITH 5/8" DIAMETER x 8" LONG GALVANIZED STEEL ANCHOR BOLTS AT A MAXIMUM SPACING OF 6'-0".
- UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS EXTERIOR WALL FRAMING SHALL BE 2x6 STUDS @ 16"oc AND INTERIOR WALL FRAMING SHALL BE 2x4 OR 2x6 STUDS @ 16"oc.
- INSTALL BACKING AND BLOCKING AS REQUIRED FOR DRYWALL, PLUMBING FIXTURES, HANDRAILS, ELECTRIC FIXTURES, ETC. BACKING AND BLOCKING LOCATIONS AND SIZES NOT NECESSARILY INDICATED ON DRAWINGS - CHECK REQUIREMENTS WITH MANUFACTURERS OR SUPPLIERS OF MATERIALS AND EQUIPMENT.
- DOUBLE UP FLOOR JOISTS UNDER PARTITIONS PARALLEL TO THE JOIST SPAN DIRECTION OR INSTALL BLOCKING THE SAME DEPTH AS THE JOISTS @ 32"oc BETWEEN THE JOISTS FLANKING BOTH SIDES OF THE PARTITION.
- WHERE JOIST SPANS EXCEED 7'-0", INSTALL 2x2 CROSS BRIDGING OR FULL DEPTH SOLID BLOCKING BETWEEN THE JOISTS IN ROWS HAVING A MAXIMUM SPACING OF 7'-0" UNLESS DIRECTED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.
- FLUSH FRAMED WOOD MEMBERS SHALL BE SECURED IN 2,000 L.B. GALVANIZED STEEL FRAMING ANCHORS UNLESS INDICATED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.
- LINTELS SHALL BE 2x2x10 UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

### GLAZING

- GLAZING WEIGHTS SHALL CONFORM TO THE REQUIREMENTS OF PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.
- GLASS IN DOORS AND SIDELIGHTS SHALL BE LAMINATED SAFETY GLASS.
- GLAZING IN BATHROOMS SHALL BE TEMPERED OR LAMINATED SAFETY GLASS.
- BEDROOMS SHALL BE FITTED WITH AT LEAST ONE DOOR / WINDOW WITH AN OPENING SIZE SUITABLE FOR EMERGENCY EGRESS AS STATED IN PART 9.8.10 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE.
- WINDOWS LOCATED WITHIN 2 METERS OF THE ADJACENT GROUND LEVEL OR THE FLOOR LEVEL OF A DECK ACCESSIBLE FROM THE EXTERIOR SHALL BE DESIGNED TO RESIST FORCIBLE ENTRY AS OUTLINED IN PART 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE.
- WINDOW/DOOR LABELS TO BE LEFT IN PLACE UNTIL FINAL INSPECTION

### FLASHING

- FLASHING SHALL BE PRE-FINISHED AND OF A MATERIAL SUITABLE FOR ITS INTENDED USE IN ACCORDANCE WITH PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.
- FLASHING SHALL BE OF A MATERIAL COMPATIBLE WITH ADJACENT MATERIALS OR SHALL BE TREATED SO AS TO PREVENT ADVERSE REACTIONS WITH ADJACENT MATERIALS.
- INSTALL SHEET METAL FLASHING TO PROTECT FROM MOISTURE PENETRATION ALL EXTERIOR HORIZONTAL OR OBLIQUE CHANGES OF PLANE OR MATERIAL.
- SEAL AROUND ALL OPENINGS TO THE EXTERIOR WITH A NON-HARDENING CAULKING MATERIAL.
- ALL FLASHINGS SHALL HAVE A MINIMUM 20% SLOPE AWAY FROM THE BUILDING (OR WHERE FLASHING TERMINATES ONTO A SLOPED ROOF, MATCH SLOPE).
- ALL FLASHINGS ARE TO HAVE A FORMED DRIP EDGE (NOT REQUIRED WHERE FLASHING TERMINATES ON SLOPED ROOF).
- IF FLASHINGS COVERING SELF-ADHERING MEMBRANES ARE TO BE DARK COLOURED, USE A HIGH TEMPERATURE RESISTANT TYPE OF SELF-ADHERING MEMBRANE.
- CAULKING TO BE A THERMO-PLASTIC TYPE SUCH AS "TREMCO DYMONIC" OR "SONNOBORN NPL"

### ROOFS

- APPLY ROOFING MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ACCORDING TO THE STANDARDS ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.
- PARAPET FLASHING AND ROOF PENETRATIONS SHALL BE CONSTRUCTED ACCORDING TO THE GUIDELINES ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.
- FLAT ROOFS AND ROOF DECKS SHALL BE PROVIDED WITH A MINIMUM 1/4" IN 12' SLOPE DOWN TOWARD A ROOF DRAIN.
- ROOF DRAINS SHALL EMPTY INTO A SEPARATE, TIGHT PIPE PERIMETER DRAINAGE SYSTEM LOCATED AT A DEPTH BELOW FROST PENETRATION.

### DOORS

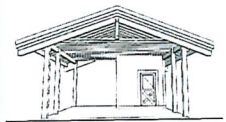
- FRAME OPENING 2" WIDER THAN DOOR, FRAME HEIGHT 2 1/2" HIGHER FOR ALL INTERIOR DOORS AND 2" HIGHER FOR ALL EXTERIOR DOORS. BUILDER TO CONFIRM ALL FINAL DOOR SIZES.
- ACCESS DOORS FROM THE EXTERIOR TO INTERIOR SPACES AND THEIR ASSOCIATED FRAMING SHALL CONFORM TO THE REQUIREMENTS TO RESIST FORCIBLE ENTRY AS OUTLINED IN PART 9 OF THE BRITISH COLUMBIA BUILDING CODE.
- EXTERIOR DOORS ACCESSING INTERIOR, HEATED SPACE SHALL BE SUITABLY WEATHERSTRIPPED.
- EXTERIOR DOORS SHALL BE FITTED WITH DEADBOLT LOCKS HAVING A MINIMUM THROW OF 25 MILLIMETERS.
- UNDERCUT INTERIOR DOORS 1/2" TO AID VENTILATION.

### MISCELLANEOUS

- THE BUILDER SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF THE "HOMEOWNER PROTECTION ACT" REGULATIONS.
- THE BUILDER SHALL BE RESPONSIBLE FOR ASSURING THAT ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS; AND THAT ALL INSTALLATIONS ARE IN PROPER WORKING ORDER.
- THE BUILDER SHALL BE RESPONSIBLE FOR ASSURING THAT ALL STRUCTURAL MEMBERS AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS. STRUCTURAL SPECIFICATIONS PROVIDED BY A BC REGISTERED PROFESSIONAL STRUCTURAL ENGINEER SHALL TAKE PRECEDENCE OVER STRUCTURAL INFORMATION PROVIDED ON THESE DRAWINGS.
- INSTALL GUARDRAILS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION IN ALL LOCATIONS WHERE PUBLIC OR PRIVATE WALKWAYS, VIEWING POSITIONS, STAIRWAYS, ETC. ABUT ABRUPT DROPS TO THE ADJACENT GRADE 24" OR MORE IN HEIGHT. THE CONTRACTOR SHALL ENSURE THAT THE MANUFACTURE AND INSTALLATION OF GUARDRAILS MEET THE BC BUILDING CODE REQUIREMENTS FOR LATERAL RESTRAINT.
- ALL STAIRWAYS SHALL BE CONSTRUCTED AS PER THE BRITISH COLUMBIA BUILDING CODE, SECTION 9.8. NOTING IN PARTICULAR THE FOLLOWING:
  - SLIP RESISTANT SURFACE TREATMENTS AND FINISHES AS PER ARTICLE 9.8.9.6;
  - HANDRAIL CONSTRUCTION AS PER SUBSECTION 9.8.7;
  - GUARDRAIL CONSTRUCTION AS PER SUBSECTION 9.8.8;
- KITCHEN AND BATHROOM CABINETS INDICATED ON DRAWINGS IS DIAGRAMMATIC ONLY. MILLWORK DETAILS SHALL BE PROVIDED BY OTHERS.
- INTERIOR FLOOR, CEILING, AND WALL FINISHES; SPECIFICATIONS FOR ELECTRICAL AND PLUMBING FIXTURES AND EQUIPMENT; SPECIFICATIONS FOR APPLIANCES OR APPLIANCE ROUGH-INS; AND SPECIFICATIONS FOR WINDOWS AND DOORS SHALL BE THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- CONCEALED SPACES SHALL BE FIRESTOPPED AS PER SUBSECTION 3.1.11 OR 9.10.16 OF THE BC BUILDING CODE.
- CONSULT ALSO BUILDING ENVELOPE ENGINEER'S DETAILS. BUILDING ENVELOPE DETAILS OF THE BC BUILDING CODE.
- CONSULT ALSO BUILDING ENVELOPE ENGINEER'S DETAILS. BUILDING ENVELOPE DETAILS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THESE DRAWINGS. INFORM OWNER OR CONTRACTOR OF ANY DISCREPANCIES.

NO.	ISSUED / REVISED
01	23DEC21 ISSUED FOR CHECK SET
02	23DEC21 ISSUED FOR CHECK SET
03	23DEC21 ISSUED FOR BUILDING PERMIT
04	07JUNE22 REDUCED COVERED AREA

© COPYRIGHT  
THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM SAME. THE DRAWINGS CONTAINED WITHIN WERE PREPARED FOR THIS PROJECT ONLY.



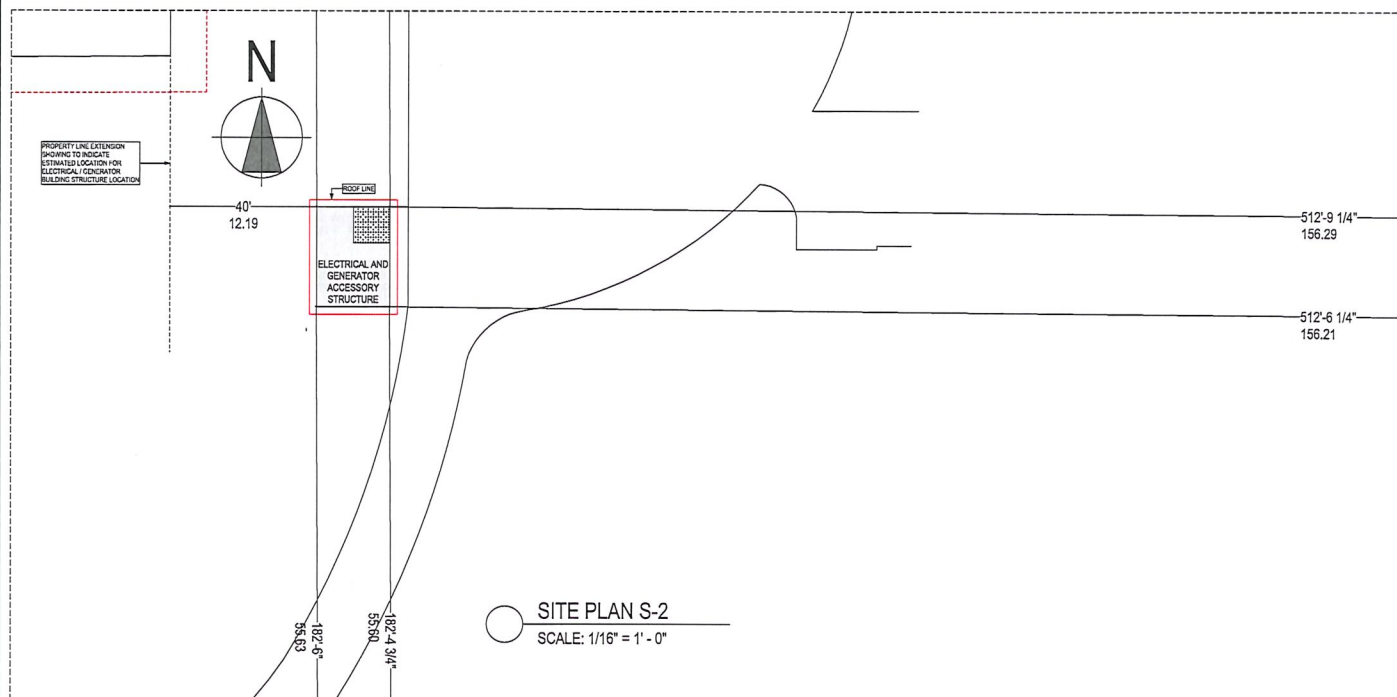
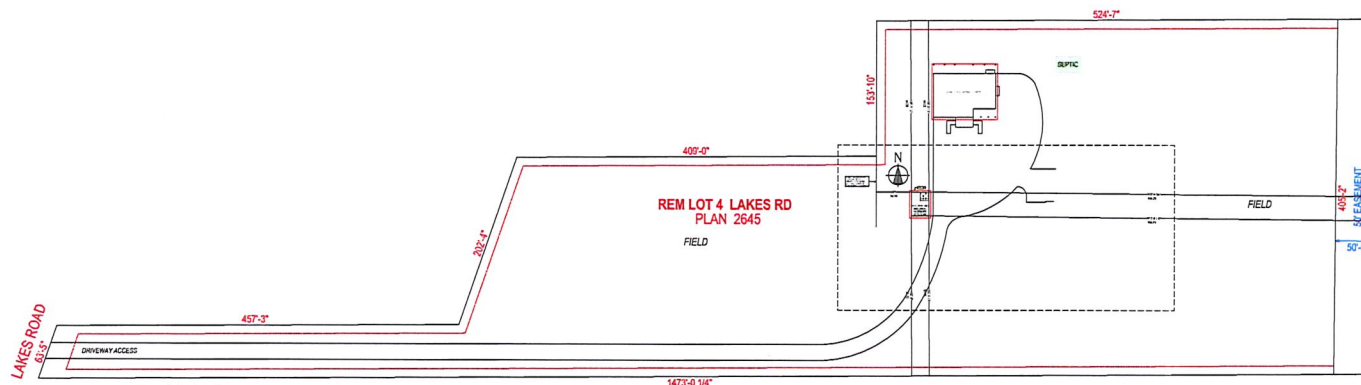
### PROJECT TITLE

**MIDCO HOLDINGS LTD.**  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

### DRAWING TITLE

GENERAL NOTES | CODES & STANDARDS

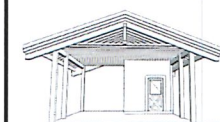
DATE	PROJECT NO.	SHEET NUMBER
23DEC2021	1044	
REVISION NH	REVISION CL	
NOT SEE DRAWINGS		A.00



NORTH COWICHAN - ACCESSORY STRUCTURE PROPOSED			
ADDRESS	#951 LAKES ROAD (Lot 4)		
LOT SIZE	3,284.8 sq (12,346.17 m <sup>2</sup> )		
ZONING	A2		
LOT COVERAGE	PROPOSED	ALLOWED	
LOT COVERAGE (TOTAL)	6.155% 51.0 m <sup>2</sup> (559.8 m <sup>2</sup> )	10% 3,284.82 m <sup>2</sup> (35,355.36 m <sup>2</sup> )	
SETBACKS			
FRONT LOT LINE	N/A	8.0m (26.25ft)	
REAR LOT LINE	159.21m (522.51ft)	8.0m (26.25ft)	
INTERIOR SIDE	59.50m (195.21ft)	3.0m (9.84ft)	
INTERIOR SIDE	55.60m (182.40ft)	3.0m (9.84ft)	
HEIGHT			
HIGHEST ROOF POINT	4.53m (14.92ft)		
FLOOR AREA			
TOTAL COVERED AREA INCLUDES ENCLOSED ELECTRICAL ROOM	51.0 m <sup>2</sup> (550ft <sup>2</sup> )		

VARIANCES REQUIRED\*

NO.	ISSUED / REVISED
01	23DEC21 ISSUED FOR CHECK SET
02	23DEC21 ISSUED FOR CHECK SET
03	23DEC21 ISSUED FOR BUILDING PERMIT
04	23JAN22 REDUCED COVERED AREA

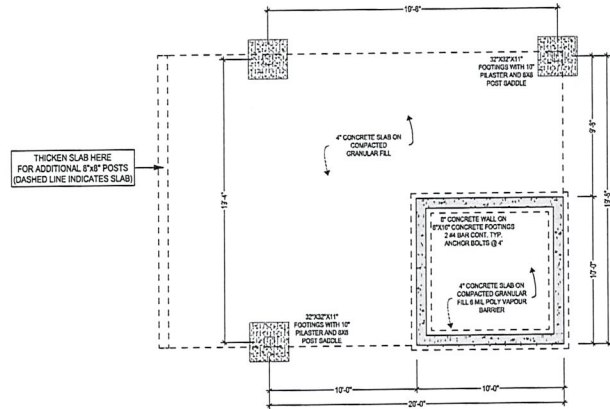


PROJECT TITLE

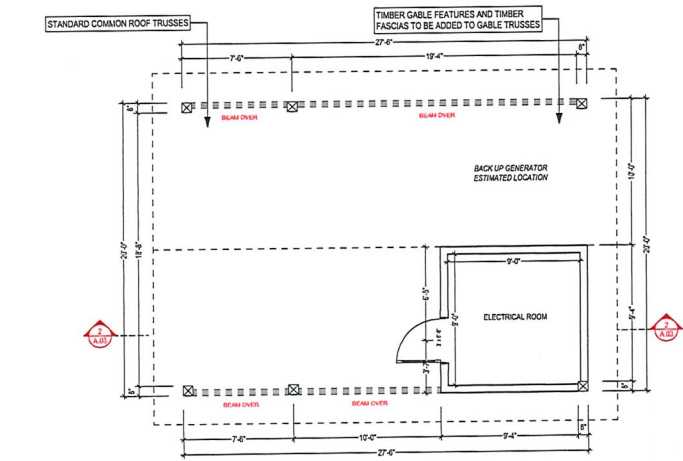
MIDCO HOLDINGS LTD.  
6551 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

DRAWING TITLE  
SITE PLAN

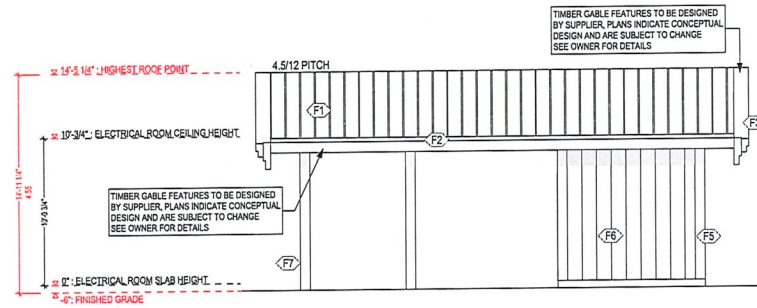
DATE	PROJECT NO.	SHEET NUMBER
23DEC2021	1044	
DRAWN BY NH	REVIEWED BY CL	A.01
NOTE: SEE DRAWINGS		



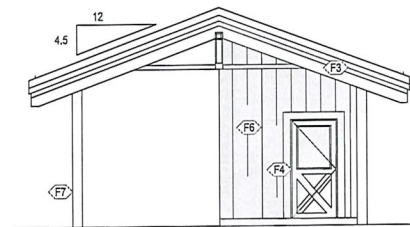
FOUNDATION PLAN (ON SLAB)  
SCALE: 1/4" = 1' - 0"



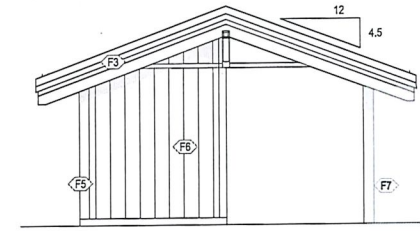
ELECTRICAL AND GENERATOR STRUCTURE (10'-0 3/4" CEILING HEIGHT)  
SCALE: 1/4" = 1' - 0"  
ELECTRICAL ROOM AREA: 100 sq ft (9.29m<sup>2</sup>)  
COVERED STRUCTURE AREA: 450 sq ft (41.75m<sup>2</sup>)  
TOTAL STRUCTURE AREA: 550 sq ft (51m<sup>2</sup>)



FRONT ELEVATION  
SCALE: 1/4" = 1' - 0"



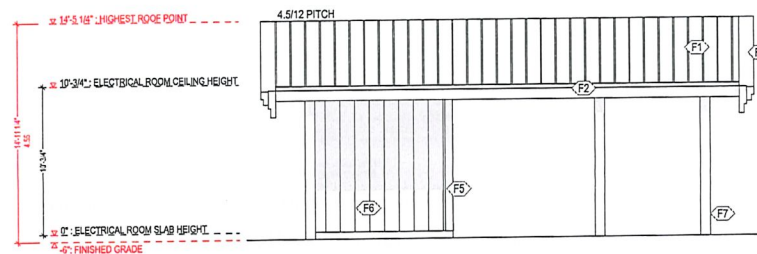
LEFT ELEVATION  
SCALE: 1/4" = 1' - 0"



RIGHT ELEVATION  
SCALE: 1/4" = 1' - 0"

#### EXTERIOR FINISH MATERIALS LEGEND

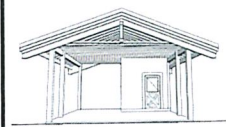
- F1: ROOFING: STANDING SEEM METAL ROOFING
- F2: GUTTER AND SOFFIT: ALUMINUM GUTTER WITH 12" WOOD FASCIA BOARD
- F3: CABLE FASCIA BOARD: CUSTOM TIMBER DESIGN - SEE SUPPLIER FOR DETAILS
- F4: WINDOW AND DOOR TRIMS: 1X8 TRIM BOARDS
- F5: CORNER TRIM: 1X8 CORNER BOARDS - SEE OWNER FOR MATERIAL
- F6: WALL FINISH 1: VERTICAL 12" CEDAR PLANK RAINSCREEN AS PER BCBC
- F7: POSTS: 8X8 TIMBER POSTS IF BUILT OUT WILL BE NOTED ON PLANS / ELEVATIONS



REAR ELEVATION  
SCALE: 1/4" = 1' - 0"

NO.	ISSUED / REVISION
01	20DEC21 ISSUED FOR CHECK SET
02	20DEC21 ISSUED FOR CHECK SET
03	20DEC21 ISSUED FOR BUILDING PERMIT
04	01JUNE22 REDUCED COVERED AREA

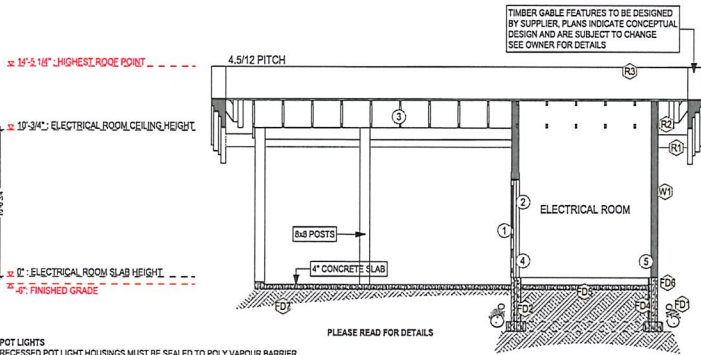
© COPYRIGHT  
THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM SAKE. THE DRAWINGS CONTAINED WITHIN THESE PROPOSALS FOR THIS PROJECT ONLY.



PROJECT TITLE  
MIDCO HOLDINGS LTD.  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

DRAWING TITLE  
FLOOR PLANS AND ELEVATIONS

DATE	PROJECT NO.	SHEET NUMBER
20DEC2021	1044	A.02
DRAWN BY: NH	REVIEWED BY: CL	
SCALE: SEE DRAWINGS		



POT LIGHTS  
RECESSED POT LIGHT HOUSINGS MUST BE SEALED TO POLY VAPOUR BARRIER

ATTIC HATCH (WHEN APPLICABLE)  
APPLY INSULATION TO BACK OF ATTIC HATCH AND PROVIDE A CLOSED CELL FORM GASKET TO ENSURE PROPER AIR SEALING

WALL TO CEILING  
ALL JOINTS AT TRANSITION BETWEEN EXTERIOR WALLS AND CEILING MUST BE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVERING WITH AN AIR BARRIER MATERIAL

INTERIOR AND EXTERIOR WALL INTERFACE  
ALL INTERIOR WALLS THAT MEET EXTERIOR WALLS OR ATTIC CEILING MUST BE MADE AIRTIGHT BY SEALING JUNCTION OR CONTINUING POLY VAPOUR BARRIER OF THE EXTERIOR WALLS

WINDOW, DOORS AND SKYLIGHTS  
INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTION BETWEEN POLY VAPOUR BARRIER AND THE OPENING/WINDOW

SILL PLATES / RIM JOINTS  
ALL JOISTS AT CAVITIES MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVER WITH AIR BARRIER MATERIAL

## CONSTRUCTION ASSEMBLIES AND NOTES

### NOTES

- ALL WINDOWS / DOORS / SKYLIGHTS AND THEIR INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTION BETWEEN POLY VAPOUR BARRIER AND THE WINDOW
  - TRUSS SYSTEM INDICATED ON DRAWINGS ARE DIAGRAMMATIC ONLY
  - DOOR PACKAGE DESIGNS INDICATED ON DRAWINGS ARE DIAGRAMMATIC ONLY - DOOR SIZES INDICATED ON FLOOR PLANS
  - WALL PENETRATIONS: ALL ELECTRICAL PENETRATIONS IN EXTERIOR WALLS MUST BE AIRTIGHT BY SEALING THEM TO THE POLY VAPOUR BARRIER
- ALL MECHANICAL, PLUMBING OR ELECTRICAL COMPONENTS WITHIN THE EXTERIOR WALLS AND GARAGE TO HOUSE WALL MUST BE INSULATED TO SAME EFFECTIVE LEVEL AS REQUIRED FOR THE WALL
- IF ELECTRICAL PANEL IS LOCATED IN GARAGE WALLS, USE RIGID INSULATION BEHIND CAVITY TO MAINTAIN SAME EFFECTIVE LEVEL AS GARAGE WALLS

### FOUNDATION CONSTRUCTION

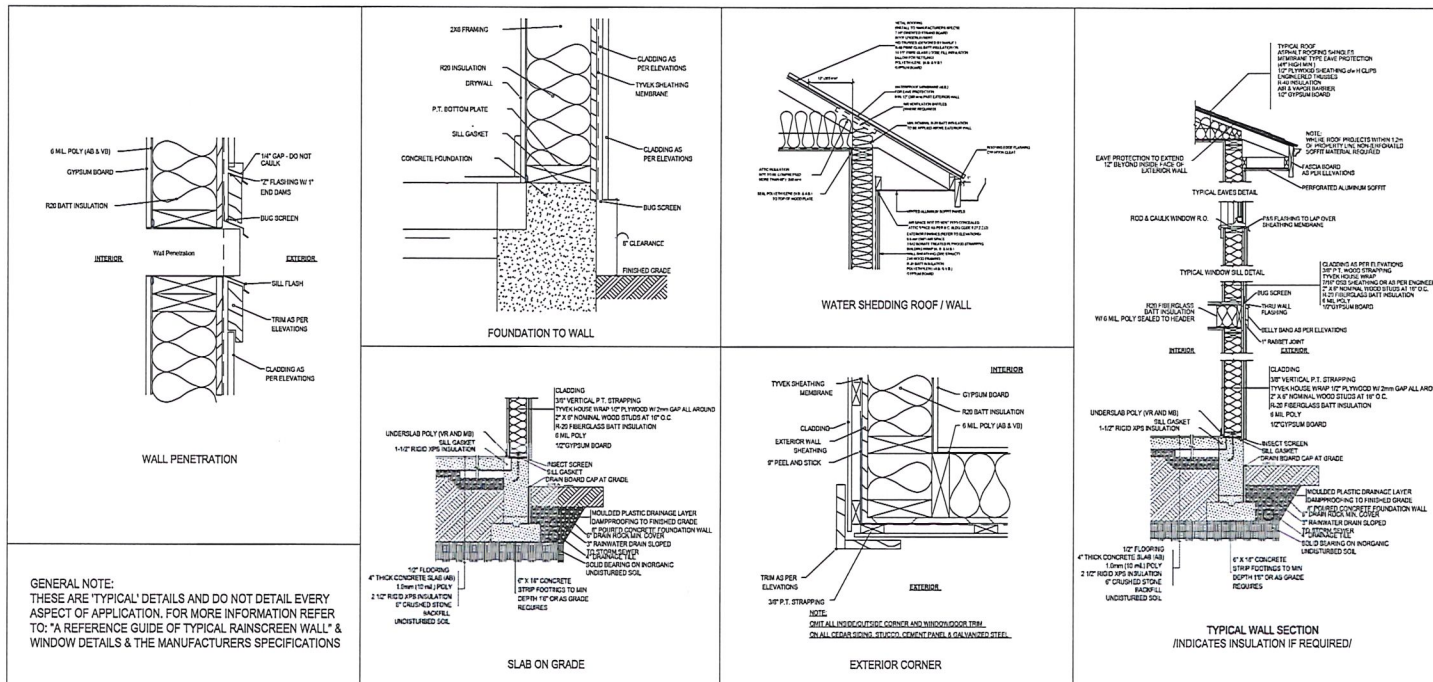
- INSTALL PERIMETER DRAIN SYSTEM AT DRAINAGE WITH 6" OF ROCK OVER
- FOOTINGS SHALL EXTEND TO SUITABLE UNDISTURBED OR ADEQUATELY COMPACTED SOIL BELOW THE FROST PENETRATION DEPTH (EXCEPT IN THE CASE OF SOLID ROCK)
- 24"X32"X11" FOOTINGS WITH 10" PLASTER AND 8X8 POST SADDLE (NOT SHOWN)
- 8" CONCRETE WALL ON 8"X18" CONCRETE FOOTINGS 2-84 BAR CONT. TYP. ANCHOR BOLTS @ 4"
- 4" CONCRETE SLAB WITH 6 MIL. POLY VAPOUR BARRIER COMPACTED GRANULAR FILL
- SLAB AIR BARRIER MUST BE MADE AIRTIGHT BY SEALING THE FLOOR TO FOUNDATION WALL
- UNDISTURBED NON-ORGANIC SOIL

### ROOFING SYSTEM & COMPONENTS

- CONTINUOUS GUTTERS
- VENTED SOFFITS ROOF OVERHANGS (NON VENTED SOFFITS WILL BE NOTATED ON DRAWINGS)
- STANDING SEAM METAL ROOFING ON 14" STRAPPING, BUILDING PAPER, 7/16" O.S.B. (OR 1/2" PLYWOOD), 2x4 STRAPPING TO ALLOW FOR CROSS VENTILATION, ENGINEERED TRUSS DESIGNED BY SUPPLIER @ 24" O.C. TYP. - RAISED HEEL HEIGHTS ARE REQUIRED ON 8/12 PITCHED ROOFS TO KEEP ALL SOFFITS SAME (SEE ELEVATIONS / TRUSS SUPPLIER FOR DETAILS)

### WALLS TYPES

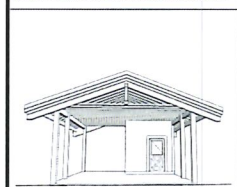
- EXTERIOR MATERIAL, 3/4" AIR SPACE, PRESSURE TREATED STRAPPING, 2 LAYERS 30 MIN. BUILDING PAPER, 1/2" SHEATHING, 2x6 STUDS AT 16" O.C. (SEE ELEVATIONS FOR DETAILS)



GENERAL NOTE:  
THESE ARE 'TYPICAL' DETAILS AND DO NOT DETAIL EVERY ASPECT OF APPLICATION. FOR MORE INFORMATION REFER TO: 'A REFERENCE GUIDE OF TYPICAL RAINSCREEN WALL' & WINDOW DETAILS & THE MANUFACTURERS SPECIFICATIONS

NO.	ISSUED / REVISED
01	23DEC21 ISSUED FOR CHECK SET
02	23DEC21 ISSUED FOR CHECK SET
03	23DEC21 ISSUED FOR BUILDING PERMIT
04	27JUN22 REDUCED COVERED AREA

IF YOU CAN DREAM IT, WE CAN DESIGN IT



PROJECT TITLE  
**MIDCO HOLDINGS LTD.**  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

DRAWING TITLE  
CROSS SECTION AND DETAILS PAGE

DATE	PROJECT NO.	SHEET NUMBER
23DEC2021	1044	
DRAWN BY NH	REVIEWED BY CL	
TOTAL SHEETS SEE DRAWINGS		A.03

## GENERAL NOTES CODES & STANDARDS

### STANDARDS

- THESE DRAWINGS CONFORM TO THE BUILDING CODE IN FORCE IN BRITISH COLUMBIA AT THE TIME OF THEIR PREPARATION. THE OWNER OR BUILDER SHALL ENSURE THAT THE BUILDING CONSTRUCTED FROM THESE DRAWINGS COMPLIES WITH THE REQUIREMENTS OF THE BUILDING CODE IN FORCE AT THE TIME OF ITS CONSTRUCTION AND, ADDITIONALLY, COMPLIES WITH LOCAL BY-LAWS AND REGULATIONS.

- ALL MATERIALS AND CONSTRUCTION PROCEDURES SHALL CONFORM TO THOSE OUT-LINED BY THE CURRENT BRITISH COLUMBIA BUILDING CODE. IN ADDITION, APPLY OR INSTALL ALL MATERIALS AND EQUIPMENT ACCORDING TO THEIR MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

- THE BUILDER SHALL REVIEW AND VERIFY ALL DIMENSIONS, INFORMATION, AND SPECIFICATIONS SHOWN ON THE DRAWINGS PRIOR TO COMMENCING CONSTRUCTION.

- RESOLUTION OF VARIANCES FROM THE DRAWINGS OR SPECIFICATIONS CAUSED BY EXTENUATING CIRCUMSTANCES SUCH AS UNAVAILABILITY OF MATERIALS, UNUSUAL SITE CONDITIONS, OWNER PREFERENCES, ETC. SHALL BE THE SOLE RESPONSIBILITY OF THE BUILDER AND/OR OWNERS.

- THE BUILDER SHALL PROVIDE ADEQUATE TEMPORARY SUPPORT OF ALL BUILDING COMPONENTS DURING CONSTRUCTION AND SHALL NOT ALLOW MATERIAL STORAGE OR CONSTRUCTION PROCEDURES TO EXCEED THE DESIGN LOADS OF THE COMPONENTS SUPPORTING THEM.

- THE BUILDER SHALL TAKE CARE TO PROTECT PUBLIC SAFETY DURING CONSTRUCTION AS OUTLINED IN THE CURRENT BRITISH COLUMBIA BUILDING CODE AND BY ANY OTHER REGULATORY BODY HAVING JURISDICTION.

- THESE DRAWINGS SHOW THE DESIGN INTENT OF THE COMPLETED BUILDING. THEY DO NOT NECESSARILY INDICATE TEMPORARY STRUCTURES SUCH AS CONCRETE FORM-WORK OR TEMPORARY BRACING, SEQUENCE OF CONSTRUCTION, ASSEMBLY PROCEDURES, ETC.

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE.

- HORIZONTAL DIMENSIONS ARE TAKEN AT THE FACE OF SHEATHING OR CONCRETE ON EXTERIOR WALLS AND AT THE FACE OR CENTRELINE OF STUDS OR CONCRETE AS INDICATED ON INTERIOR WALLS. VERTICAL DIMENSIONS ARE TAKEN AT TOP OF CONCRETE SLAB, FLOOR SHEATHING, OR WALL PLATE AS INDICATED.

- ROOM SIZES, IF INDICATED ON THE PLANS, ARE NOMINAL ONLY. MEASURE ACTUAL SITE CONDITIONS BEFORE ORDERING MATERIALS OR EQUIPMENT THAT ARE DEPENDENT ON EXACT SIZES.

- IN INSTANCES WHERE THESE NOTES CONFLICT WITH ENGINEERING DRAWINGS AND SPECIFICATIONS THE ENGINEERING INFORMATION SHALL TAKE PRECEDENCE.

### SITE WORK

- THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THE BUILDING AS INDICATED ON THE DRAWINGS AS WELL AS ENSURING COMPLIANCE WITH ALL REGULATIONS GOVERNING IT. REGULATORY BY-LAWS SHALL TAKE PRECEDENCE.

- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE OWNER OR BUILDER SHALL TAKE MEASURES TO INDICATE AND PROTECT ANY EXISTING VEGETATION OR OTHER NATURAL OR MAN-MADE FEATURES THAT ARE NOT TO BE DISTURBED BY CONSTRUCTION PROCESSES.

- ALL ORGANIC MATTER SHALL BE STRIPPED FROM THE LOCATION OF THE PROPOSED STRUCTURE, INCLUDING BENEATH ITS DECKS, PATIOS, WALKWAYS, ETC. FILL AREAS SERVING AS BASES FOR CONCRETE SLABS OR MASONRY PAVERS WITH CLEAN GRANULAR MATERIAL FREE OF ORGANIC MATTER IN MAXIMUM 6" LIFTS COMPACTED BY VIBRATION TO 98% STANDARD DRY PROCTOR DENSITY.

- SLOPE FINISHED GRADES DOWN AWAY FROM THE BUILDINGS AT A MINIMUM OF 1% TO FACILITATE RUN OFF OF SURFACE WATER. DIRECT AND DRAIN RUN-OFF WATER IN A MANNER SATISFACTORY TO THE AUTHORITY HAVING JURISDICTION.

### CONCRETE AND FOUNDATIONS

- GARAGE AND CARPORT CONCRETE FLOOR SLABS AND EXTERIOR CONCRETE STAIRS, IF ANY, SHALL BE CONSTRUCTED WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 32 Mpa AT 28 DAYS. ALL OTHER CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 Mpa AT 28 DAYS.

- FOOTINGS SHALL EXTEND TO SUITABLE UNDISTURBED OR ADEQUATELY COMPACTED SOIL BELOW THE FROST PENETRATION DEPTH (EXCEPT IN THE CASE OF SOLID ROCK).

- THE FOOTINGS (IF) INDICATED ON THESE DRAWINGS ASSUME A 100 KPa SOIL BEARING CAPACITY. IF LESSER BEARING CAPACITY IS ENCOUNTERED, THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR ENGAGING QUALIFIED PROFESSIONAL ENGINEERING PERSONNEL TO ANALYZE EXISTING CONDITIONS AND TO RE-DESIGN AND CERTIFY THE FOOTINGS AS NECESSARY TO SUIT.

- LATERALLY UNSUPPORTED FOUNDATION WALLS EXCEEDING THE LIMITS STATED IN THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A QUALIFIED PROFESSIONAL STRUCTURAL ENGINEER.

- ALLOW OPENINGS IN FOUNDATIONS FOR SERVICES AS REQUIRED. DETERMINE REQUIREMENTS PRIOR TO PLACING CONCRETE.

- FORM THE DEPRESSIONS AND OTHER IRREGULARITIES IN FOUNDATION WALL SURFACES SHALL BE FILLED WITH GROUT OR OTHER SUITABLE MATERIAL TO CREATE RELATIVELY SMOOTH SURFACES.

- CONCRETE SLABS SHALL BE PLACED ON A MINIMUM OF 6" OF CLEAN GRANULAR FILL FREE OF ORGANIC MATTER AND COMPACTED BY VIBRATION TO 98% STANDARD DRY PROCTOR DENSITY.

- DAMP PROOF FOUNDATION WALLS WITH TWO COATINGS OF ASPHALT EMULSION OR EQUIVALENT MATERIAL, BELOW FINISHED GRADE.

- CONCRETE AND MASONRY STRUCTURES EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER. THE OWNER OR BUILDER SHALL TAKE RESPONSIBILITY FOR OBTAINING SUCH DESIGN AND CERTIFICATION AS REQUIRED.



### CARPENTRY

- FRAMING LUMBER SHALL BE No. 1 & 2 SPF UNLESS INDICATED OTHERWISE.

- PROTECT ALL LUMBER IN CONTACT WITH CONCRETE BY INSTALLING A 45LB. FELT OR 6 MIL. POLYETHYLENE DAMP PROOFING LAYER OR OTHER APPROVED METHOD.

- ANCHOR SILL PLATES TO CONCRETE FOUNDATION WITH 5/8" DIAMETER x 8' LONG GALVANIZED STEEL ANCHOR BOLTS AT A MAXIMUM SPACING OF 6'-4"

- UNLESS SPECIFIED OTHERWISE ON THE DRAWINGS EXTERIOR WALL FRAMING SHALL BE 2x6 STUDS @ 16"oc AND INTERIOR WALL FRAMING SHALL BE 2x4 OR 2x6 STUDS @ 16"oc.

- INSTALL BACKING AND BLOCKING AS REQUIRED FOR DRYWALL, PLUMBING FIXTURES, HANDRAILS, ELECTRIC FIXTURES, ETC. BACKING AND BLOCKING LOCATIONS AND SIZES NOT NECESSARILY INDICATED ON DRAWINGS - CHECK REQUIREMENTS WITH MANUFACTURERS OR SUPPLIERS OF MATERIALS AND EQUIPMENT.

- DOUBLE UP FLOOR JOISTS UNDER PARTITIONS PARALLEL TO THE JOIST SPAN DIRECTION OR INSTALL BLOCKING THE SAME DEPTH AS THE JOISTS @ 32"oc BETWEEN THE JOISTS FLANKING BOTH SIDES OF THE PARTITION.

- WHERE JOIST SPANS EXCEED 7'-0", INSTALL 2x2 CROSS BRIDGING OR FULL DEPTH SOLID BLOCKING BETWEEN THE JOISTS IN ROWS HAVING A MAXIMUM SPACING OF 7'-0" UNLESS DIRECTED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.

- FLUSH FRAMED WOOD MEMBERS SHALL BE SECURED IN 2,000 LB. GALVANIZED STEEL FRAMING ANCHORS UNLESS INDICATED OTHERWISE BY A STRUCTURAL ENGINEER'S SPECIFICATIONS.

- LINTELS SHALL BE 2-2x10 UNLESS INDICATED OTHERWISE ON THE DRAWINGS.

- TRUSSES, MANUFACTURED BEAMS, MANUFACTURED JOISTS, AND STRUCTURAL MEMBERS EXCEEDING THE LIMITATIONS SPECIFIED BY PARTS 3 OR 9 OF THE BRITISH COLUMBIA BUILDING CODE SHALL BE DESIGNED AND CERTIFIED BY A BRITISH COLUMBIA REGISTERED PROFESSIONAL STRUCTURAL ENGINEER.

- WOOD EXPOSED TO THE WEATHER TO BE PRESSURE TREATED USING ACO PRESSURE TREATING. METAL FASTENERS TO BE STAINLESS STEEL.

### GLAZING

- GLAZING WEIGHTS SHALL CONFORM TO THE REQUIREMENTS OF PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.

- GLASS IN DOORS AND SIDELIGHTS SHALL BE LAMINATED SAFETY GLASS.

- GLAZING IN BATHROOMS SHALL BE TEMPERED OR LAMINATED SAFETY GLASS.

- BEDROOMS SHALL BE FITTED WITH AT LEAST ONE DOOR / WINDOW WITH AN OPENING SIZE SUITABLE FOR EMERGENCY EGRESS AS STATED IN PART 9.3.10 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE.

- WINDOWS LOCATED WITHIN 2 METERS OF THE ADJACENT GROUND LEVEL OR THE FLOOR LEVEL OF A DECK ACCESSIBLE FROM THE EXTERIOR SHALL BE DESIGNED TO RESIST FORCIBLE ENTRY AS OUTLINED IN PART 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE.

- FENESTRATION PERFORMANCE REQUIREMENTS:  
CLASS R - PG 20 - DESIGN PRESSURE = +560Pa-960Pa - WATER PENETRATION RESISTANCE = 180Pa CANADIAN AIR INFILTRATION / EXFILTRATION = A2

- WINDOW/DOOR LABELS TO BE LEFT IN PLACE UNTIL FINAL INSPECTION

### FLASHING

- FLASHING SHALL BE PREFINISHED AND OF A MATERIAL SUITABLE FOR ITS INTENDED USE IN ACCORDANCE WITH PARTS 3 OR 9 OF THE CURRENT BRITISH COLUMBIA BUILDING CODE AS APPLICABLE.

- FLASHING SHALL BE OF A MATERIAL COMPATIBLE WITH ADJACENT MATERIALS OR SHALL BE TREATED SO AS TO PREVENT ADVERSE REACTIONS WITH ADJACENT MATERIALS.

- INSTALL SHEET METAL FLASHING TO PROTECT FROM MOISTURE PENETRATION ALL EXTERIOR HORIZONTAL OR OBLIQUE CHANGES OF PLANE OR MATERIAL.

- SEAL AROUND ALL OPENINGS TO THE EXTERIOR WITH A NON-HARDENING CAULKING MATERIAL.

- ALL FLASHINGS SHALL HAVE A MINIMUM 20% SLOPE AWAY FROM THE BUILDING (OR WHERE FLASHING TERMINATES ONTO A SLOPED ROOF, MATCH SLOPE).

- ALL FLASHINGS ARE TO HAVE A FORMED DRIP EDGE (NOT REQUIRED WHERE FLASHING TERMINATES ON SLOPED ROOF).

- IF FLASHINGS COVERING SELF-ADHERING MEMBRANES ARE TO BE DARK COLOURED, USE A HIGH TEMPERATURE RESISTANT TYPE OF SELF-ADHERING MEMBRANE.

- CAULKING TO BE A THERMO-PLASTIC TYPE SUCH AS "TREMCO DYMONIC" OR "SONNBOORN NPI"

### ROOFS

- APPLY ROOFING MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND ACCORDING TO THE STANDARDS ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.

- PARAPET FLASHING AND ROOF PENETRATIONS SHALL BE CONSTRUCTED ACCORDING TO THE GUIDELINES ESTABLISHED BY THE ROOFING CONTRACTORS' ASSOCIATION OF BRITISH COLUMBIA.

- FLAT ROOFS AND ROOF DECKS SHALL BE PROVIDED WITH A MINIMUM 1/4" IN 12" SLOPE DOWN TOWARD A ROOF DRAIN.

- ROOF DRAINS SHALL EMPTY INTO A SEPARATE, TIGHT PIPE PERIMETER DRAINAGE SYSTEM LOCATED AT A DEPTH BELOW FROST PENETRATION.

### DOORS

- FRAME OPENING 2" WIDER THAN DOOR, FRAME HEIGHT 2 1/2" HIGHER FOR ALL INTERIOR DOORS AND 3" HIGHER FOR ALL EXTERIOR DOORS, BUILDER TO CONFIRM ALL FINAL DOOR SIZES.

- ACCESS DOORS FROM THE EXTERIOR TO INTERIOR SPACES AND THEIR ASSOCIATED FRAMING SHALL CONFORM TO THE REQUIREMENTS TO RESIST FORCIBLE ENTRY AS OUTLINED IN PART 9 OF THE BRITISH COLUMBIA BUILDING CODE.

- EXTERIOR DOORS ACCESSING INTERIOR, HEATED SPACE SHALL BE SUITABLY WEATHERSTRIPPED.

- EXTERIOR DOORS SHALL BE FITTED WITH DEADBOLT LOCKS HAVING A MINIMUM THROW OF 25 MILLIMETERS.

- UNDERCUT INTERIOR DOORS 1/2" TO AID VENTILATION.

### MISCELLANEOUS

- THE BUILDER SHALL BE RESPONSIBLE FOR MEETING THE REQUIREMENTS OF THE "HOMEOWNER PROTECTION ACT" REGULATIONS.

- THE BUILDER SHALL BE RESPONSIBLE FOR ASSURING THAT ELECTRICAL, PLUMBING AND MECHANICAL EQUIPMENT AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS; AND THAT ALL INSTALLATIONS ARE IN PROPER WORKING ORDER.

- THE BUILDER SHALL BE RESPONSIBLE FOR ASSURING THAT ALL STRUCTURAL MEMBERS AND INSTALLATIONS MEET THE REQUIREMENTS OF THE BC BUILDING CODE AND PURSUANT REGULATIONS. STRUCTURAL SPECIFICATIONS PROVIDED BY A BC REGISTERED PROFESSIONAL STRUCTURAL ENGINEER SHALL TAKE PRECEDENCE OVER STRUCTURAL INFORMATION PROVIDED ON THESE DRAWINGS.

- INSTALL GUARDRAILS ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION IN ALL LOCATIONS WHERE PUBLIC OR PRIVATE WALKWAYS, VIEWING POSITIONS, STAIRWAYS, ETC. ABUT ABRUPT DROPS TO THE ADJACENT GRADE 24" OR MORE IN HEIGHT. THE CONTRACTOR SHALL ENSURE THAT THE MANUFACTURE AND INSTALLATION OF GUARDRAILS MEET THE BC BUILDING CODE REQUIREMENTS FOR LATERAL RESTRAINT.

- ALL STAIRWAYS SHALL BE CONSTRUCTED AS PER THE BRITISH COLUMBIA BUILDING CODE, SECTION 9.8.8, NOTING IN PARTICULAR THE FOLLOWING:

- SLIP RESISTANT SURFACE TREATMENTS AND FINISHES AS PER ARTICLE 9.8.8.6;
- HANDRAIL CONSTRUCTION AS PER SUBSECTION 9.8.7;
- GUARDRAIL CONSTRUCTION AS PER SUBSECTION 9.8.8;

- KITCHEN AND BATHROOM CABINERY INDICATED ON DRAWINGS IS DIAGRAMMATIC ONLY. MILLWORK DETAILS SHALL BE PROVIDED BY OTHERS.

- INTERIOR FLOOR, CEILING, AND WALL FINISHERS; SPECIFICATIONS FOR ELECTRICAL AND PLUMBING FIXTURES AND EQUIPMENT; SPECIFICATIONS FOR APPLIANCES OR APPLIANCE ROUGH-INS; AND SPECIFICATIONS FOR WINDOWS AND DOORS SHALL BE THE RESPONSIBILITY OF THE OWNER OR BUILDER.

- CONCEALED SPACES SHALL BE FIRESTOPPED AS PER SUBSECTION 3.1.11 OR 9.10.16 OF THE BC BUILDING CODE.

- CONSULT ALSO BUILDING ENVELOPE ENGINEER'S DETAILS. BUILDING ENVELOPE DETAILS OF THE BC BUILDING CODE.

- CONSULT ALSO BUILDING ENVELOPE ENGINEER'S DETAILS. BUILDING ENVELOPE DETAILS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER THESE DRAWINGS. INFORM OWNER OR CONTRACTOR OF ANY DISCREPANCIES.

NO.	REVISION / REVISION
01	0000721 ISSUED FOR CHECK SET
02	1000721 ISSUED FOR CHECK SET
03	0000721 ISSUED FOR CHECK SET
04	0000721 REDUCED BUILDING / SITE PLACEMENT
05	2000721 ISSUED FOR BUILDING PERMIT
06	2000721 REVISED FOR ENGINEERING
07	1000721 REVISED FOR BUILDING PERMIT

© COPYRIGHT  
THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM SAME. THE DRAWINGS CONTAINED WITHIN WERE PREPARED FOR THIS PROJECT ONLY.



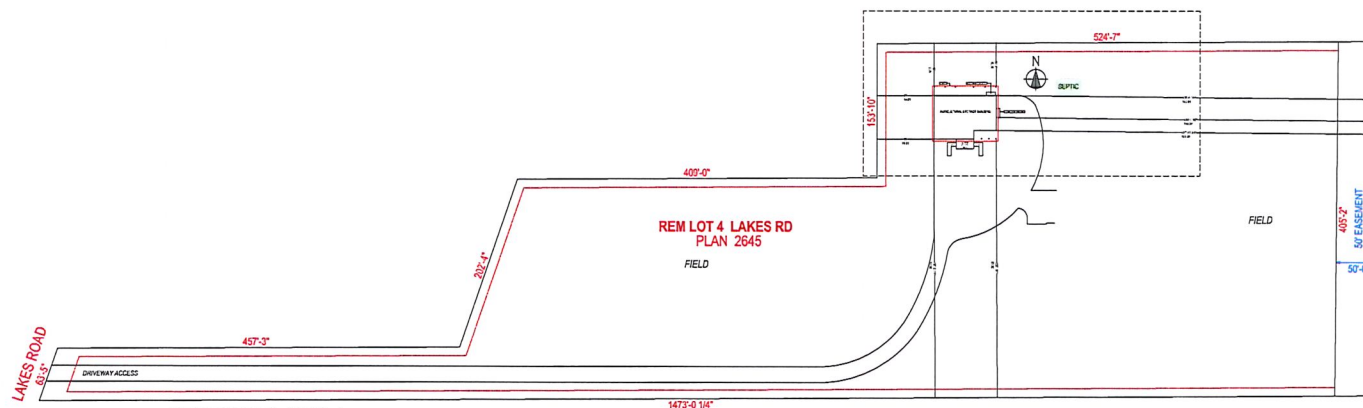
### PROJECT TITLE

**MIDCO HOLDINGS LTD.**  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

### DRAWING TITLE

GENERAL NOTES | CODES & STANDARDS

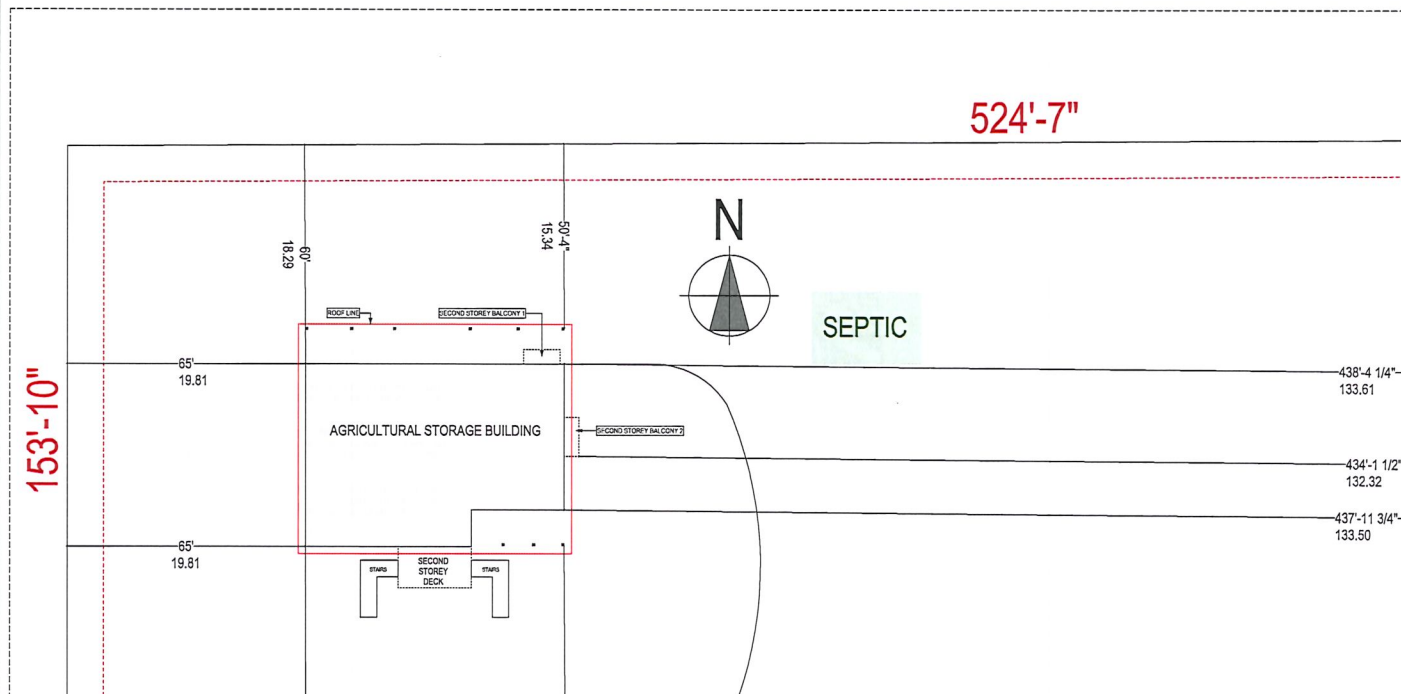
DATE	15/JAN/2022	PROJECT NO.	1023	SHEET NUMBER
DRAWN BY	RM	REVIEWED BY	CL	A.00
DATE	15/JAN/2022	DATE	15/JAN/2022	



KEY SITE PLAN S-1  
SCALE = 1:800

524'-7"

153'-10"



SITE PLAN S-2  
SCALE: 1/16" = 1' - 0"

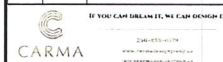
#### NORTH COWICHAN - AGRICULTURAL STORAGE BUILDING PROPOSED

ADDRESS	6551 LAKES ROAD (Lot 4)
LOT SIZE	3,284.8 sq (12,546.17m <sup>2</sup> )
ZONING	A2
LOT COVERAGE	PROPOSED 1.33% ALLOWED 10%
LOT COVERAGE (TOTAL)	435.23m <sup>2</sup> (1,042.75m <sup>2</sup> ) 3,284.82m <sup>2</sup> (8,043.36m <sup>2</sup> )
SETBACKS	
FRONT LOT LINE	N/A 8.0m (26.25ft)
REAR LOT LINE	132.32m (434.12ft) 8.0m (26.25ft)
INTERIOR SIDE	69.92m (229.01ft) 3.0m (9.84ft)
INTERIOR SIDE	15.34m (50.33ft) 3.0m (9.84ft)
HEIGHT	
HIGHEST ROOF HEIGHT	6.94m (22.77ft) 9.0m (29.53ft)
FLOOR AREA	
FIRST STOREY AREA	304.73m <sup>2</sup> (3,279.75m <sup>2</sup> )
SECOND STOREY AREA	252.50m <sup>2</sup> (2,727.75m <sup>2</sup> )
ELEVATOR SHAFT (EXCLUDED FROM GFA)	7.43m <sup>2</sup> (80.0ft <sup>2</sup> )
COVERED ENTRANCE (107ft <sup>2</sup> EXCLUDED FROM GFA)	20.74m <sup>2</sup> (223.25ft <sup>2</sup> )
TOTAL GROSS FLOOR AREA	561.59m <sup>2</sup> (6,043.75ft <sup>2</sup> )

VARIANCES REQUIRED\*



NO.	ISSUED / REVISION
01	06/07/21 ISSUED FOR CHECK SET
02	16/07/21 ISSUED FOR CHECK SET
03	09/09/21 ISSUED FOR CHECK SET
04	08/09/21 REDUCED BUILDING / SITE PLACEMENT
05	22/09/21 ISSUED FOR BUILDING PERMIT
06	28/09/21 REVISED FOR ENGINEERING PERMIT
07	15/10/21 REVISED FOR BUILDING PERMIT



© COPYRIGHT  
THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM CARMA. THE DRAWINGS CONTAINED WITHIN WERE PREPARED FOR THE PROJECT ONLY.



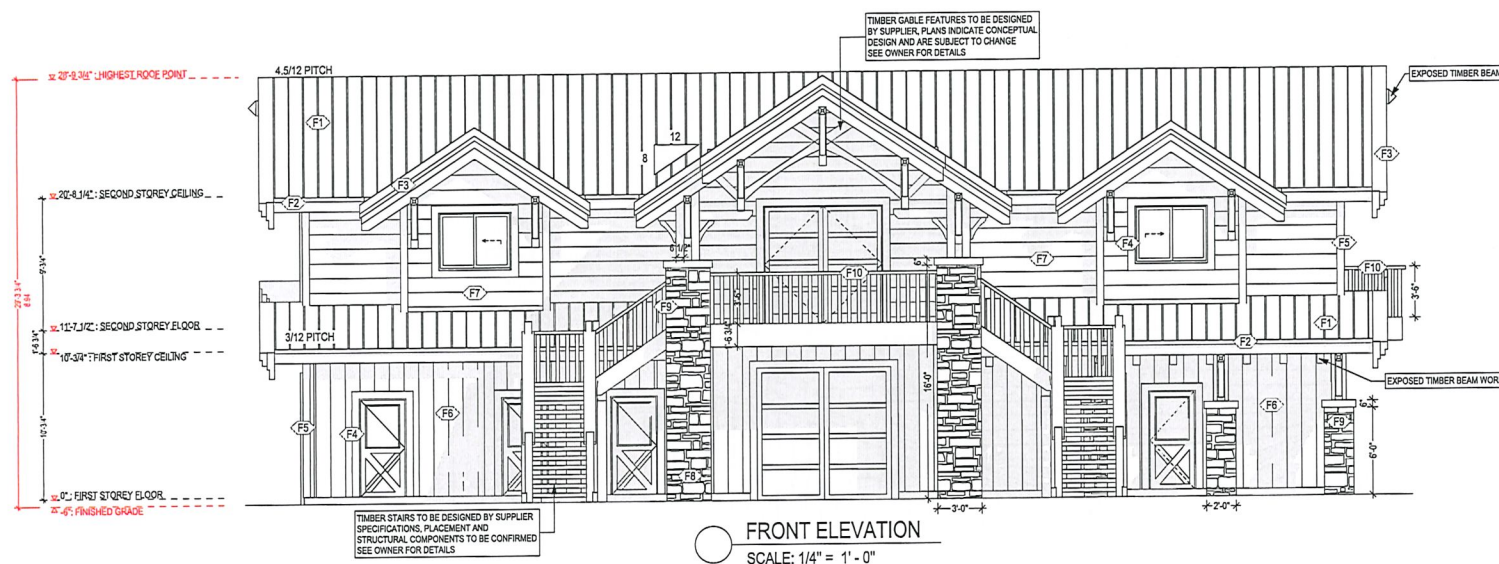
#### PROJECT TITLE

MIDCO HOLDINGS LTD.  
6551 LAKES ROAD - LOT 4  
DUNCAN B.C. V8L 5V7

#### DRAWING TITLE

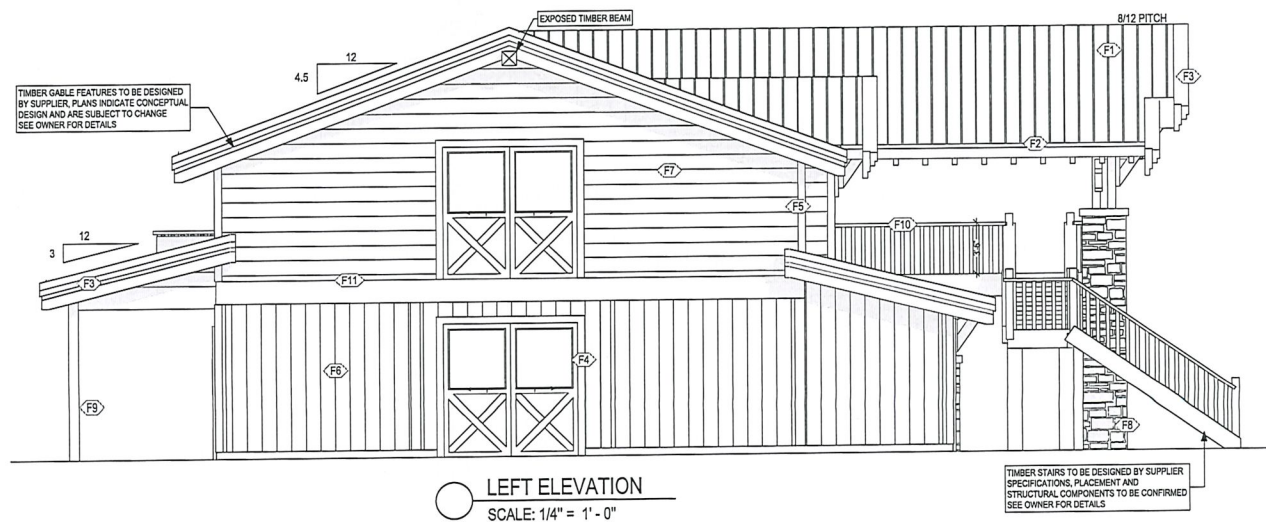
SITE PLAN

DATE	PROJECT NO.	SHEET NUMBER
15/JAN/2022	1023	
DRAWN BY NH	REVIEWED BY CL	
VOID SEE DRAWINGS		A.01



#### EXTERIOR FINISH MATERIALS LEGEND

- (F1) ROOFING:  
STANDING SEEM METAL ROOFING
- (F2) GUTTER AND SOFFIT:  
ALUMINUM GUTTER WITH 12" WOOD FASCIA BOARD
- (F3) GABLE FASCIA BOARD:  
CUSTOM TIMBER DESIGN - SEE SUPPLIER FOR DETAILS
- (F4) WINDOW AND DOOR TRIMS:  
1X6 TRIM BOARDS
- (F5) CORNER TRIM:  
1X6 CORNER BOARDS - SEE OWNER FOR MATERIAL
- (F6) WALL FINISH 1:  
VERTICAL 12" CEDAR PLANK  
RAINSCREEN AS PER BCBC
- (F7) WALL FINISH 2:  
HORIZONTAL 12" CEDAR PLANK  
RAINSCREEN AS PER BCBC
- (F8) POST FEATURE MATERIAL:  
STONE WORK
- (F9) POSTS:  
8X8 TIMBER POSTS  
IF BUILT OUT WILL BE NOTED ON PLANS / ELEVATIONS
- (F10) GUARD RAILS:  
42" HIGH NON CLIMBABLE - SEE OWNER FOR FINISH
- (F11) BELLY BAND:  
2X18.75" BELLY BAND WITH METAL FLASHING



NO.	ISSUED / REVISED
01	30OCT21 ISSUED FOR CHECK SET
02	11OCT21 ISSUED FOR CHECK SET
03	08NOV21 ISSUED FOR CHECK SET
04	08DEC21 REDUCED BUILDING / SITE PLACEMENT
05	21DEC21 ISSUED FOR BUILDING PERMIT
06	21DEC21 REVISED FOR ENGINEERING
07	15JAN22 REVISED FOR BUILDING PERMIT



© COPYRIGHT  
THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM SAME. THE DRAWINGS CONTAINED WITHIN WERE PREPARED FOR THIS PROJECT ONLY.



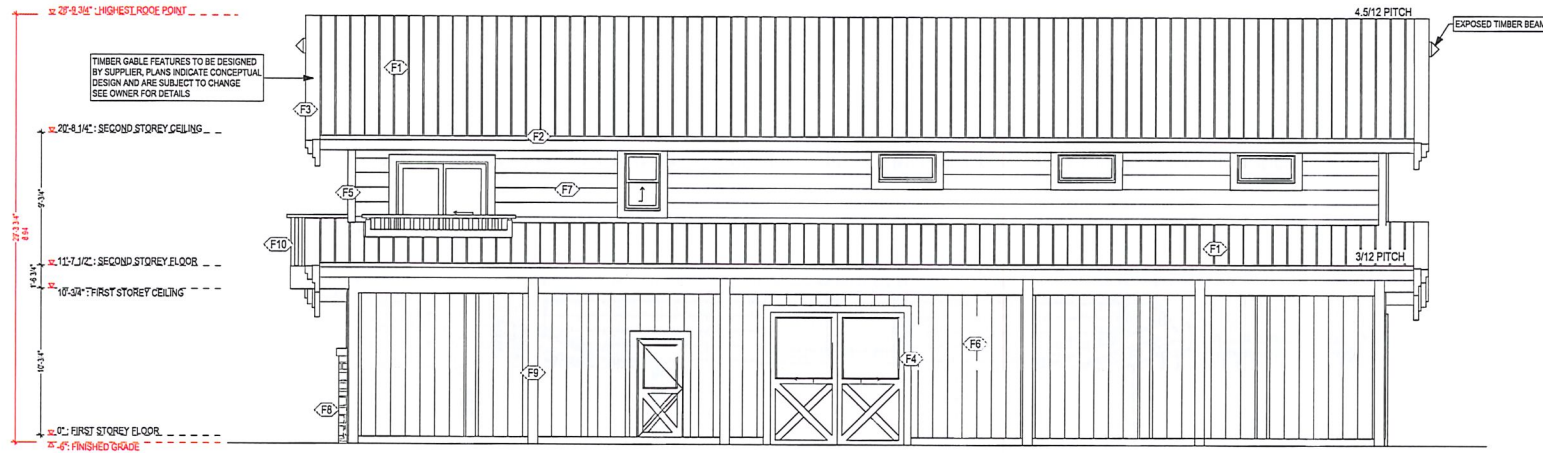
#### PROJECT TITLE

MIDCO HOLDINGS LTD.  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

#### DRAWING TITLE

FRONT AND LEFT ELEVATION

DATE	PROJECT	SHEET NUMBER
15JAN2022	1023	
DRAWN BY NH	REVIEWED BY CL	
NOT SEE DRAWINGS		A.02



REAR ELEVATION  
SCALE: 1/4" = 1' - 0"

EXTERIOR FINISH MATERIALS LEGEND

- (F1) ROOFING:  
STANDING SEAM METAL ROOFING
- (F2) GUTTER AND SOFFIT:  
ALUMINUM GUTTER WITH 12" WOOD FASCIA BOARD
- (F3) GABLE FASCIA BOARD:  
CUSTOM TIMBER DESIGN - SEE SUPPLIER FOR DETAILS
- (F4) WINDOW AND DOOR TRIMS:  
1X8 TRIM BOARDS
- (F5) CORNER TRIM:  
1X8 CORNER BOARDS - SEE OWNER FOR MATERIAL
- (F6) WALL FINISH 1:  
VERTICAL 12" CEDAR PLANK  
RAINSCREEN AS PER BCBC
- (F7) WALL FINISH 2:  
HORIZONTAL 12" CEDAR PLANK  
RAINSCREEN AS PER BCBC
- (F8) POST FEATURE MATERIAL:  
STONE WORK
- (F9) POSTS:  
8X8 TIMBER POSTS  
IF BUILT OUT WILL BE NOTED ON PLANS / ELEVATIONS
- (F10) GUARD RAILS:  
42" HIGH NON CLIMBABLE - SEE OWNER FOR FINISH
- (F11) BELLY BAND:  
2X18 75' BELLY BAND WITH METAL FLASHING



RIGHT ELEVATION  
SCALE: 1/4" = 1' - 0"

NO.	ISSUED / REVISED
01	05/01/21 ISSUED FOR CHECK SET
02	11/01/21 ISSUED FOR CHECK SET
03	01/01/21 ISSUED FOR CHECK SET
04	01/01/21 REDUCED BUILDING / SITE PLACEMENT
05	23/01/21 ISSUED FOR BUILDING PERMIT
06	28/01/21 REVISED FOR ENGINEERING
07	15/01/22 REVISED FOR BUILDING PERMIT



PROJECT TITLE

**MIDCO HOLDINGS LTD.**  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

DRAWING TITLE

REAR AND RIGHT ELEVATION

DATE	PROJECT NO.	SHEET NUMBER
15/JAN/2022	1023	A.03
DESIGNED BY	REVIEWED BY	
NH	CL	
DATE	SEE DRAWINGS	

NO.	ISSUED / REVISION
01	060721 ISSUED FOR CHECK SET
02	190721 ISSUED FOR CHECK SET
03	090921 ISSUED FOR CHECK SET
04	090921 REDUCED BUILDING / SITE PLACEMENT
05	230621 ISSUED FOR BUILDING PERMIT
06	230621 REVISED FOR ENGINEERING
07	110422 REVISED FOR BUILDING PERMIT

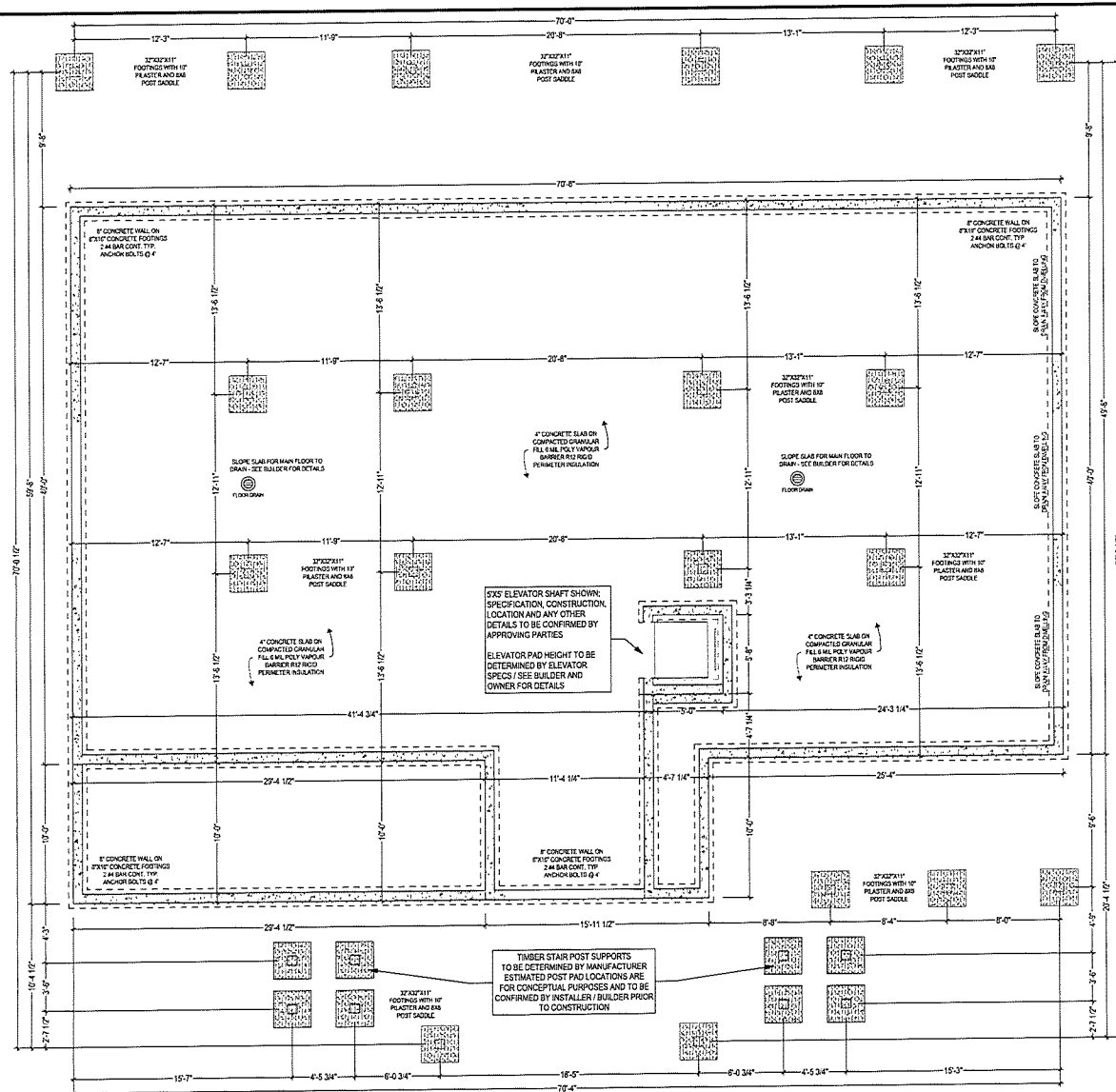
© COPYRIGHT  
THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM SALES. THE DRAWINGS CONTAINED WITHIN WERE PREPARED FOR THIS PROJECT ONLY.



PROJECT TITLE  
**MIDCO HOLDINGS LTD.**  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

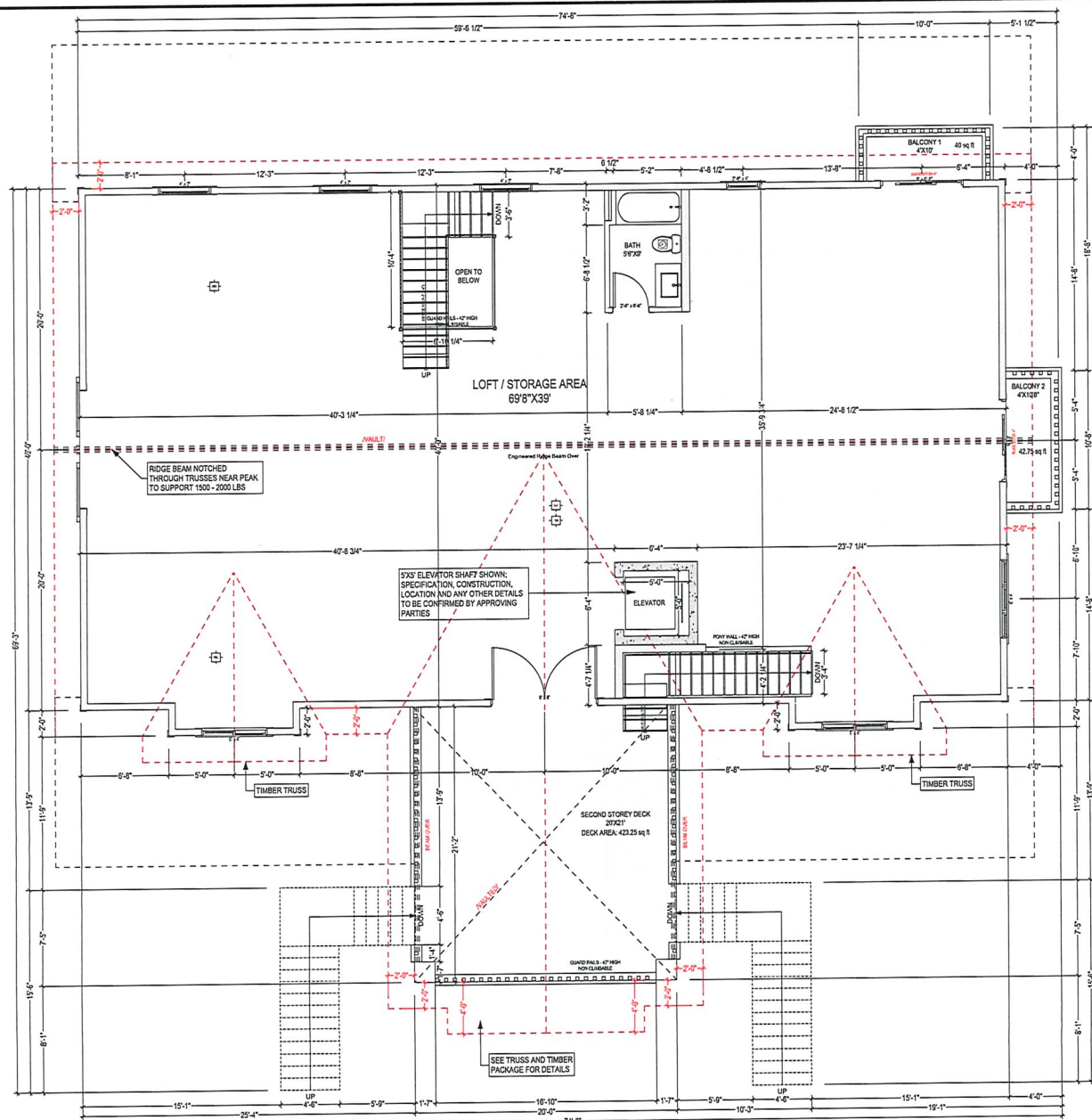
DRAWING TITLE  
**FOUNDATION PLAN**

DATE	PROJECT NO.	SHEET NUMBER
15JAN2022	1023	
DRAWN BY RHH	REVIEWED BY CL	
SCALE SEE DRAWINGS		A.04



○ FOUNDATION PLAN (ON SLAB)  
SCALE: 1/4" = 1' - 0"





(F1) DEMISING FLOOR: 1 HOUR F.R.R. 54 STC AS PER FSD - Table A.9.10.3.1.B)  
 FINISHED FLOORING ON  
 23/32" ORIENTED STRAND BOARD  
 SCREWED AND GLUED TO  
 18" TRUSS JOISTS @ 16" O.C.  
 CW 2"x4" BRIDGING @ 12" O.C. (MAX)  
 R-28 INSULATION  
 RESILIENT METAL CHANNELS @ 3" O.C.  
 2 LAYERS 5/8" X-TYPE GYPSUM BOARD

SECOND STOREY FLOOR PLAN (9'-0 3/4" CEILING HEIGHT)  
 SCALE: 1/4" = 1' - 0"  
 LOFT / STORAGE AREA: 2727.75 sq ft (253.50m<sup>2</sup>)



NO.	ISSUED / REVISED
01	06/07/21 ISSUED FOR CHECK SET
02	18/07/21 ISSUED FOR CHECK SET
03	09/07/21 ISSUED FOR CHECK SET
04	04/08/21 REDUCED BUILDING / SITE PLACEMENT
05	21/08/21 ISSUED FOR BUILDING PERMIT
06	21/08/21 REVISED FOR ENGINEERING
07	15/09/22 REVISED FOR BUILDING PERMIT

IF YOU CAN DREAM IT, WE CAN DESIGN IT  
 CARMA  
 2500-625-6278  
 www.carma.ca  
 1000-1000-1000

© COPYRIGHT  
 THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM SAKE. THE DRAWINGS CONTAINED WITHIN WERE PREPARED FOR THIS PROJECT ONLY.



PROJECT TITLE  
 MIDCO HOLDINGS LTD.  
 6651 LAKES ROAD - LOT 4  
 DUNCAN B.C. V9L 5V7

DRAWING TITLE  
 SECOND STOREY FLOOR PLAN

DATE 15/JAN/2022	PROJECT NO. 1023	SHEET NUMBER
DRAWN BY NH	REVIEWED BY CL	A.06
SCALE SEE DRAWINGS		

PLEASE READ FOR DETAILS

POT LIGHTS  
RECESSED POT LIGHT HOUSINGS MUST BE SEALED TO POLY VAPOUR BARRIER

ATTIC HATCH (WHEN APPLICABLE)  
APPLY INSULATION TO BACK OF ATTIC HATCH AND PROVIDE A CLOSED CELL FOAM GASKET TO ENSURE POTENTIAL AIR SEALING

PLUMBING STAGGS  
PLUMBING VENT STACK PIPES MUST BE MADE AIRTIGHT BY SEALING THE AIR BARRIER TO VENT STACK WITH COMPATIBLE MATERIAL, SHEATING TAPE, OR A RUBBER GASKET AT THE CEILING

WALL TO CEILING  
ALL JOINTS AT TRANSITION BETWEEN EXTERIOR WALLS AND CEILING MUST BE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVERING WITH AN AIR BARRIER MATERIAL

INTERIOR AND EXTERIOR WALL INTERFACE  
ALL INTERIOR WALLS THAT MEET EXTERIOR WALLS OR ATTIC CEILING MUST BE MADE AIRTIGHT BY SEALING JUNCTION OR CONTINUING POLY VAPOUR BARRIER OF THE EXTERIOR WALLS

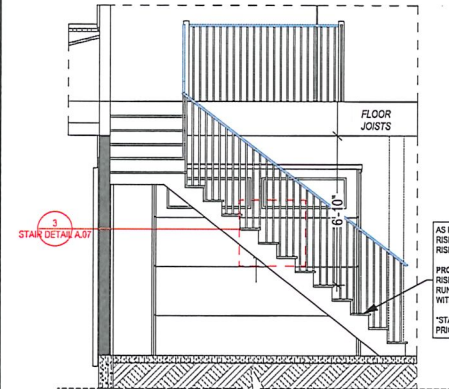
WINDOW, DOORS AND SKYLIGHTS  
INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS BETWEEN POLY VAPOUR BARRIER AND THE OPENING WINDOW

SILL PLATES / RIM JOINTS  
ALL JOISTS AT CAVITIES MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTIONS OR COVER WITH AIR BARRIER MATERIAL

PRINCIPAL EXHAUST FAN

AGRICULTURAL STORAGE BUILDING  
PRINCIPAL EXHAUST FAN LOCATED IN: FIRST STOREY BATHROOM  
CAPACITY: 650 PASCAL AN MIN. VENTILATION RATE OF 28 AS PER 9.32.3.5  
NOTE: MUST BE WIRED TO RUN CONTINUOUSLY, CONTROLLED BY DEDICATED SWITCH, SOUND RATING NOT TO EXCEED 1.0 SONE (SEE TABLE 9.32.3.3.A)

HEAT SOURCE  
AGRICULTURAL STORAGE BUILDING AREAS  
FIRST STOREY BATHROOM - BASEBOARD  
STORAGE AREA 1 AND 2 - NATURAL GAS CEILING MOUNT HEATERS (OPTIONAL)  
SECOND STOREY LOFT: UNHEATED

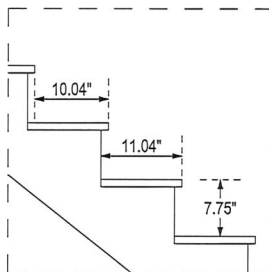


AS PER BCBC TABLE 9.8 A.1  
RISE MAX: 200mm (7.87 inches)  
RISE MIN: 125mm (4.92 inches)

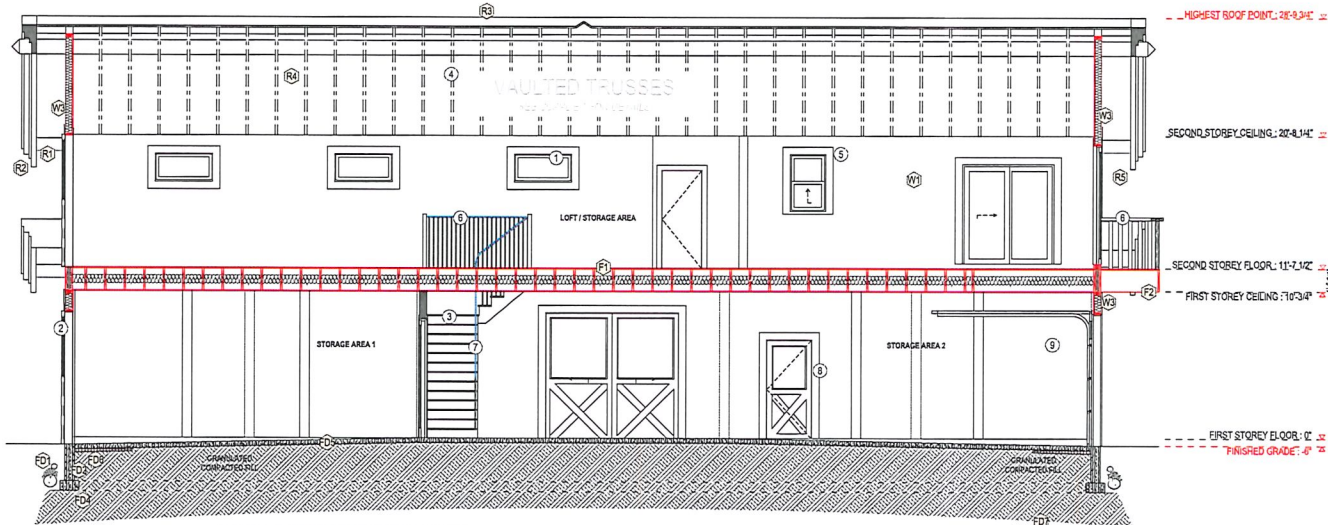
PROPOSED  
RISE: 190.9mm (7.5 inches)  
RUN: 255mm (10.04 inches)  
WITH 1" NOSING

\*STAIRS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION

1  
A.07 STAIR SECTION  
SCALE: 3/8" = 1'-0"



2  
A.07 STAIR DETAIL  
SCALE: 1 1/2" = 1'-0"



1  
A.07 AGRICULTURAL STORAGE BUILDING SECTION  
SCALE: 1/4" = 1'-0"

## CONSTRUCTION ASSEMBLIES AND NOTES

### NOTES

- ALL WINDOWS TO BE VINYL - RAINSCREEN AS PER BCBC. GLASS IN DOORS AND SIDELIGHTS SHALL BE LAMINATED SAFETY GLASS
- WINDOWS / DOORS / SKYLIGHTS AND THEIR INTERFACE BETWEEN WINDOW AND WALL ASSEMBLY MUST BE MADE AIRTIGHT BY SEALING ALL JOINTS AND JUNCTION BETWEEN POLY VAPOUR BARRIER AND THE WINDOW
- TYPICAL STAIRS: IF SHOWN SHALL HAVE 7 1/2" RISER WITH 10.04" TREAD AND 1" NOSING WITH CONTINUOUS HANDRAIL (SEE STAIR DETAIL FOR MORE INFORMATION)
- TRUSS SYSTEM INDICATED ON DRAWINGS ARE DIAGRAMMATIC ONLY
- CABINERY INDICATED ON DRAWINGS ARE DIAGRAMMATIC ONLY
- 42" NON CLIMBABLE GUARDRAIL
- NON CLIMBABLE CONTINUOUS HANDRAIL - AS PER BCBC
- DOOR PACKAGE DESIGNS INDICATED ON DRAWINGS ARE DIAGRAMMATIC ONLY - DOOR SIZES INDICATED ON FLOOR PLANS
- WALL PENETRATIONS: ALL ELECTRICAL PENETRATIONS IN EXTERIOR WALLS MUST BE AIRTIGHT BY SEALING THEM TO THE POLY VAPOUR BARRIER

ALL MECHANICAL, PLUMBING OR ELECTRICAL COMPONENTS WITHIN THE EXTERIOR WALLS AND GARAGE TO HOUSE WALL MUST BE INSULATED TO SAME EFFECTIVE LEVEL AS REQUIRED FOR THE WALL

IF ELECTRICAL PANEL IS LOCATED IN GARAGE WALLS, USE RIGID INSULATION BEHIND CAVITY TO MAINTAIN SAME EFFECTIVE LEVEL AS GARAGE WALLS

### FOUNDATION SYSTEM

- INSTALL PERIMETER DRAIN SYSTEM  
4" DRAIN TILE WITH 6" OF ROCK OVER
- FOOTINGS SHALL EXTEND TO SUITABLE UNDISTURBED OR ADEQUATELY COMPACTED SOIL BELOW THE FROST PENETRATION DEPTH (EXCEPT IN THE CASE OF SOLID ROCK)
- 32"x32"x11" FOOTINGS WITH 10" PLASTER AND 8x8 POST SADDLE (NOT SHOWN)
- 8" CONCRETE WALL ON 8"x8" CONCRETE FOOTINGS  
2 #4 BAR CONT. TYP. ANCHOR BOLTS @ 4"
- 4" CONCRETE SLAB WITH RIGID INSULATION 1.2M (3'-11") AROUND PERIMETER ON 6 MIL POLY VAPOUR BARRIER COMPACTED GRANULAR FILL - ENSURE CONTINUITY OF INSULATION AS PER BCBC 9.36.2.5(2)
- SLAB FOUNDATION WALL: THERMAL BREAK 50% OF THE REQUIRED INSULATION THICKNESS - SLAB AIR BARRIER MUST BE MADE AIRTIGHT BY SEALING THE FLOOR TO FOUNDATION WALL
- UNDISTURBED NON-ORGANIC SOIL

### ROOFING SYSTEM & COMPONENTS

- CONTINUOUS GUTTERS
- VENTED SOFFITS ROOF OVERHANGS  
(NON VENTED SOFFITS WILL BE NOTATED ON DRAWINGS)
- STANDING SEAM METAL ROOFING ON 1x4 STRAPPING, BUILDING PAPER, 7/16" O.S.B. (OR 1/2" PLYWOOD), 2x4 STRAPPING TO ALLOW FOR CROSS VENTILATION. ENGINEERED TRUSS DESIGNED BY SUPPLIER @ 24" O.C. TYP. - RASSED HEEL HEIGHTS ARE REQUIRED ON 8"x12" PITCHED ROOFS TO KEEP ALL SOFFITS SAME (SEE ELEVATIONS / TRUSS SUPPLIER FOR DETAILS)
- PROVIDE ROOF VENTS: VENT 1/150 USING SHINGLED IN RIDGE VENT
- EAVE PROTECTION TO 12" BEYOND HEATED WALL

### WALLS TYPES

- 2x4 FRAMING 16" O.C. TYP. 1/2" DRYWALL FINISH
- 2x6 FRAMING 16" O.C. TYP. 1/2" DRYWALL FINISH
- EXTERIOR MATERIAL 3/4" AIR SPACE, PRESSURE TREATED STRAPPING, 2 LAYERS 30 MIN. BUILDING PAPER, 1/2" SHEATHING, 2x6 STUDS AT 16" O.C. R-20 BATT INSULATION, 6 MIL POLY VAPOUR BARRIER, 1/2" DRYWALL (SEE ELEVATIONS FOR DETAILS)

### FLOORING SYSTEM

- DEMISING FLOOR: 11 HOUR F.R.B. 5/4 STD. AS PER FSD - Table A-9.10.3.1.B) FINISHED FLOORING ON 2002" ORIENTED STRAND BOARD SCREWED AND GLUED TO 16" TRUSS JOISTS @ 16" O.C. ON 2x4 X-BRACING @ 7.5 O.C. (MAX) R-25 INSULATION RESILIENT METAL CHANNELS @ 24" O.C. 2 LAYERS 5/8" X-TYPE GYPSUM BOARD
- VINYL DECK ON 3/4" SELECT 1&G PLY. ON 2x16.75 FLOOR JOIST TRUSSES AT 16" O.C. SLOPE TO DRAIN - SUPPLIED BY VICTORIA TRUSS, SEE OWNER FOR DETAILS



NO.	ISSUED / REVISED
01	000021 ISSUED FOR CHECK SET
02	190021 ISSUED FOR CHECK SET
03	000021 ISSUED FOR CHECK SET
04	000021 REVISED BUILDING / SITE PLACEMENT
05	200021 ISSUED FOR BUILDING PERMIT
06	200021 REVISED FOR ENGINEERING
07	190021 REVISED FOR BUILDING PERMIT



© COPYRIGHT  
THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM CARMA DESIGN GROUP INC.

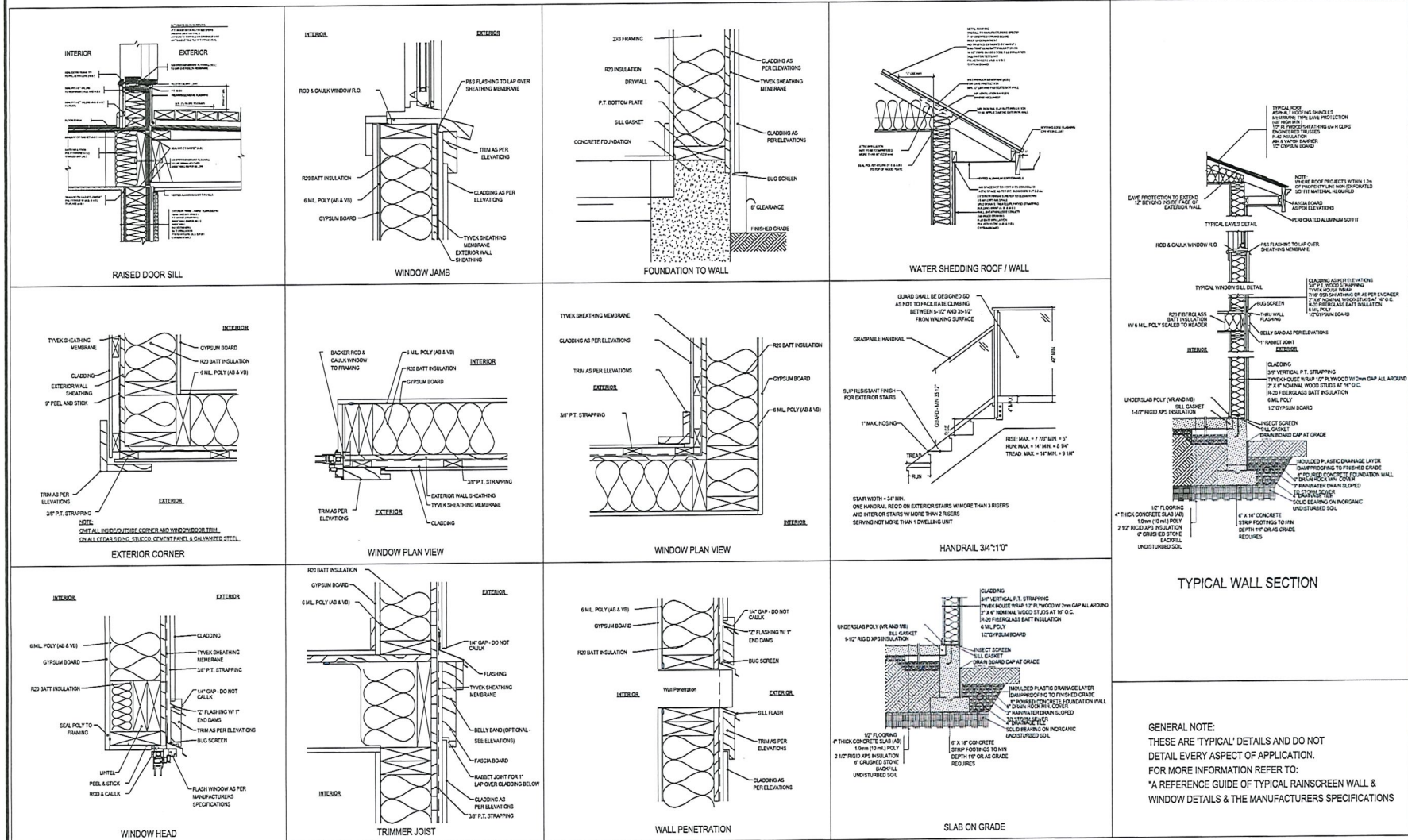


PROJECT TITLE

MIDCO HOLDINGS LTD.  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

DRAWING TITLE  
CROSS SECTION A-1

DATE	PROJECT NO.	SHEET NUMBER
12/14/2022	1023	A.07
DESIGNED BY	REVIEWED BY	
NH	CL	
NOTED		
SEE DRAWINGS		



NO.	ISSUED / REVISED
01	09/01/21 ISSUED FOR CHECK SET
02	19/01/21 ISSUED FOR CHECK SET
03	09/01/21 ISSUED FOR CHECK SET
04	09/01/21 REDUCED BUILDING / SITE PLACEMENT
05	20/01/21 ISSUED FOR BUILDING PERMIT
06	20/01/21 REVISED FOR ENGINEERING
07	19/01/22 REVISED FOR BUILDING PERMIT

IF YOU CAN'T SEE IT, WE CAN DESIGN IT

**CARMA**  
DESIGN GROUP

2500-475-0171  
www.carma-design.com

© COPYRIGHT  
THIS PLAN AND DESIGN ARE AT ALL TIMES PROPERTY OF CARMA DESIGN GROUP INC. AND ARE COVERED BY COPYRIGHT LAW AND ARE THE SOLE PROPERTY OF CARMA DESIGN GROUP INC. AND MAY NOT BE REPRODUCED OR USED IN ANY FORM WITHOUT WRITTEN PERMISSION FROM SAME. THE DRAWINGS CONTAINED WITHIN WERE PREPARED FOR THIS PROJECT ONLY.



PROJECT TITLE

**MIDCO HOLDINGS LTD.**  
6651 LAKES ROAD - LOT 4  
DUNCAN B.C. V9L 5V7

DRAWING TITLE  
DETAILS PAGE

DATE	PROJECT NO.	SHEET NUMBER
19/JAN/2022	1023	
DRAWN BY NH	REVIEWED BY CL	
NOT TO SCALE SEE DRAWINGS		A.08