



The Corporation of the District of North Cowichan

Zoning Amendment Bylaw (Housing Statutes Residential Development Amendment Compliance)

Bylaw 3964

Whereas:

- A. Council may, in a zoning bylaw pursuant to Section 479 of the *Local Government Act*, divide all or part of the area of the District into zones, name each zone and establish the boundaries of the zone, regulate the use of land, buildings and structures within the zones, and may, pursuant to section 525 of the *Local Government Act* require the provision of parking spaces and loading spaces for uses, buildings, and structures; and
- B. for the purpose of complying with section 481.3 of the *Local Government Act*,

The Council of The Corporation of The District of North Cowichan enacts in open meeting assembled as follows:

Title

- 1 This Bylaw may be cited as "Zoning Amendment Bylaw No. 3964, 2024".

Text Amendments

- 2 Schedules 1A and 1B attached herein form part of this bylaw.
- 3 Zoning Bylaw No. 2950, 1997 is amended by deleting Parts 3, 4 and 5 in their entirety and replacing with new Parts 3, 4 and 5 as contained in Schedule 1A to this bylaw.
- 4 Zoning Bylaw No. 2950, 1997 is amended by deleting Schedule H in its entirety and replacing with new Schedule H as contained in Schedule 1B to this bylaw.

Map Amendments

- 5 Schedules 2A, 2B, 2C, 2D, 2E, 2F, 2G, 2H, 2I and 2J attached herein form part of this bylaw.
- 6 Zoning Bylaw No. 2950, 1997 Schedule C (maps) is amended by redesignating all parcels and parts thereof shown in dark shading in Schedule 2A and currently zoned R1, to R1-U.
- 7 Zoning Bylaw No. 2950, 1997 Schedule C (maps) is amended by redesignating all parcels and parts thereof shown in dark shading in Schedule 2B and currently zoned R2, to R2-R.
- 8 Zoning Bylaw No. 2950, 1997 Schedule C (maps) is amended by redesignating all parcels and parts thereof shown in dark shading in Schedule 2C and currently zoned R2-A, to R3.
- 9 Zoning Bylaw No. 2950, 1997 Schedule C (maps) is amended by redesignating all parcels and

parts thereof shown in dark shading in Schedule 2D and currently zoned R3, to R3-R.

- 10 Zoning Bylaw No. 2950, 1997 Schedule C (maps) is amended by redesignating all parcels and parts thereof shown in dark shading in Schedule 2E and currently zoned CD5, to R3.
- 11 Zoning Bylaw No. 2950, 1997 Schedule C (maps) is amended by redesignating all parcels and parts thereof shown in dark shading in Schedule 2F and currently zoned R3-CH, to CD25.
- 12 Zoning Bylaw No. 2950, 1997 Schedule C (maps) is amended by redesignating all parcels and parts thereof shown in dark shading in Schedule 2G and currently zoned R3-CH, to R2.
- 13 Zoning Bylaw No. 2950, 1997 Schedule C (maps) is amended by redesignating all parcels and parts thereof shown in dark shading in Schedule 2H and currently zoned R3-CH, to R3.
- 14 Zoning Bylaw No. 2950, 1997 Schedule C (maps) is amended by redesignating all parcels and parts thereof shown in dark shading in Schedule 2I and currently zoned R3-N, to R3.
- 15 Zoning Bylaw No. 2950, 1997 Schedule C (maps) is amended by redesignating all parcels and parts thereof shown in dark shading in Schedule 2J and currently zoned CD18, to CD18-R.

Pursuant to Section 464 of the *Local Government Act*, no Public Hearing was held.

The notice that a public hearing was not being held for this bylaw was advertised on the municipality's social media site on May 21, 2024, in the Cowichan Valley Citizen and the Chemainus Valley Courier on May 30, 2024, and was posted to the municipality's public notice places on May 21, 2024.

READ a first time on June 4, 2024.

READ a second time on June 4, 2024.

READ a third time on June 4, 2024.

Ministry of Transportation and Infrastructure approval is EXEMPTED by Approval Exemption (Controlled Access Highway) Regulation, B.C. Reg 99/2024.

ADOPTED on

CORPORATE OFFICER

PRESIDING MEMBER

PART 3 – DEFINITIONS

Definitions

12 In this Bylaw:

[numbering removed from definitions: BL3651]

[Abbeyfield Housing - Repealed. BL3302]

[medical marijuana production facility – Repealed. BL3741]

[ALR cannabis production facility [BL3741, Repealed BL3797]]

“accessory building” means a building located on the same lot as the principal building and used for a purpose accessory or subordinate to the principal use;

“accessory dwelling unit, detached” means a self-contained dwelling unit in a detached accessory building, and includes manufactured homes placed on a permanent foundation;

“accessory dwelling unit” means a dwelling unit which is subordinate to, associated with, and attached to the principal use; [BL3562]

“accessory office” means a building, or a portion of a building, used as the office of an architect, contractor, engineer, forester, or a surveyor;

“accessory use” means a use which is subordinate to and associated with the principal use;

“adult novelty business” means the use of premises for the display, retailing or renting of sex objects; [BL3323]

“agricultural exhibition and fairground” means the use of land for the promotion of agriculture through exhibits, festivals, recreational activities or events, educational contests, displays and demonstrations, and may include other activities of a public assembly or temporary nature in accordance with section 51(8); [BL3356]

“agricultural storage” means the storage of agriculture and nursery products, excluding processed products produced off the land, with the exception that a food bank may store a limited portion of processed products produced off site and not for sale. The maximum storage area shall not exceed a covered storage area of 500 m² (5,382 sq. ft.), and an outdoor storage area of 4,000 m² (43,056 sq. ft.); [BL3283]

“agriculture” means the use of land, buildings and structures (a) to raise livestock, (b) to grow, rear, produce, and harvest agricultural products, (c) to process crops grown on the land, (d) to store or repair farm equipment used on the land, (e) to sell agricultural products, (f) for aquaculture, (g) for horticulture, (h) for mariculture, and (i) for silviculture, but does not include the operation of feedlots, fur farms, piggeries, poultry farms, or mushroom farms; [BL3597]

“ALR soil-based cannabis production facility” means a cannabis production facility which qualifies as a farm use under section 8 of the *Agricultural Land Reserve Use Regulation*, BC Reg. 30/2019, and is located entirely on land designated as within the BC Agricultural Land Reserve. [BL3797]

“amenity space” means an area comprised of on-site, communal or private, indoor or outdoor space designated for active or passive recreational use; [BL3333]

“amusement park” means the use or intended use of buildings, structures or land, for entertainment provided by glass houses, water slides, go-cart tracks, rides, zoos, mini golf, carnivals, fairs, amusement devices, specifically excluding casinos, and/or bingos;

“animal shelter” means a facility providing shelter and care for animals awaiting placement; [BL3927]

“apartment” means a building containing more than 2 dwelling units, each accessible from a common interior hallway, or additionally accessible from an at-grade entrance; [BL3457]

“appliance and small equipment repair” means the use of buildings, structures, or land for servicing or repairing household appliances (e.g. stoves) and small equipment (e.g. lawnmowers);

“aquarium” means buildings or structures designated for keeping and exhibiting live vertebrates, invertebrates, and water plants;

“arterial highway” means a highway managed by the British Columbia Ministry of Transportation and designated under section 45 (1) (a) of the British Columbia *Transportation Act*; [BL3323]

“artisan studio” means the use of premises for the production, and optional display and sale of, arts and crafts made from materials such as metal, wood, textile, glass, or stone; [BL3426]

“assembly hall” means a use of a building or structure for the assembly, gathering, or meeting of persons for religious, charitable, philanthropic, cultural, educational, or any other purpose not otherwise specifically defined in the bylaw; [BL3562]

“assisted living” means housing and care that is registered pursuant to the *Community Care and Assisted Living Act*, which provides a lockable room, separate common areas for dining and socializing, the provision of meals, housekeeping and personal care services as defined in that *Act*, and its amendments;

[BL3302]

“automobile wrecking or salvage yard” means the use of land outside an enclosed building where motor vehicles are wholly or partially disassembled, dismantled, or junked, or where motor vehicles which are inoperable are stored, or where used parts of motor vehicles are stored or sold;

“automotive repair shop” means a building, structure, or premises used or intended to be used for repairs to motor vehicles and/or boats, and parts thereof, but shall not include motor vehicle manufacture or assembly;

“bed and breakfast” means a building or use of a building in which sleeping units are rented, with or without meals being provided, to persons other than members of the family of the owner, tenant, or lessee of the building;

[boarder - Repealed. BL3302]

[boarding house - Repealed. BL3302]

“bicycle parking stall, Class I” means a bicycle space designed to provide readily accessible, secured, protected and enclosed bicycle parking for employees or residents; [BL3426]

“bicycle parking stall, Class II” means a bicycle space designed to provide secured and weather protected bicycle parking for visitors; [BL3426]

“brew pub” means a combination of a pub with a brewery, making beer on a limited production basis, in accordance with regulations set by the Liquor Control and Licensing Branch of the Ministry of the Attorney General. Sale of the beer is restricted to on-premises consumption, except where the licensee has off-sale endorsement for the pub;

“building” means any structure used or intended to be used for supporting or sheltering any use or occupancy;

“campground (short term)” means the use of land for short-term accommodation (less than 28 consecutive days) for vacation or recreational purposes, in tents or recreational vehicles, and may include the following accessory uses for campground occupants: washrooms, showers, laundry facilities, offices, recreational facilities, convenience stores, or restaurants; [BL3521]

“campground (seasonal)” means the use of land for seasonal accommodation for vacation or recreational purposes, in tents, recreational vehicles or park model trailers, and may include the following accessory uses for campground occupants: washrooms, showers, laundry facilities, offices, recreational facilities, convenience stores, or restaurants; [BL3521]

“cannabis production facility” means the cultivation, processing, analytical testing, and research of cannabis or cannabis products as authorized by a licence under section 8 (1) of the *Cannabis Regulations*, SOR/2018-144, and includes production, manufacturing, synthesis, alteration, propagation, harvesting, packaging, storing, distribution, and sale of cannabis or cannabis products where and on the terms permitted by that same licence, but does not include:

- (a) the cultivation or processing of cannabis or cannabis products by an individual under Section 56 of the *Cannabis Control and Licensing Act*, SBC 2018, c. 29, or by a registered person or designated person, as defined in Part 14 of the *Cannabis Regulations*, for the personal use and consumption of the individual or registered person; or
- (b) the retail sale of cannabis or cannabis products, including sale authorized under the *Cannabis Control and Licensing Act* or pursuant to s. 69 (1) of the *Cannabis Act*; [BL3741]

“church” means a building or land where persons assemble for religious worship and which is maintained and controlled by a religious body for public worship and religious education, and may, from time to time, include educational activities, fund-raising activities, recreational activities, or daycare activities. It may also include periodic, but not permanent, use for social events, craft sales, or flea markets;

“church camp” means a camp, that is managed by a church organization but does not include permanent residency, which may entail temporary residency;

“civic use” means the use of a building, structure, or land for the following public functions which are under the auspices of a public body: schools, fire halls, parks and recreation facilities owned by a civic body, and sewage pumping stations, water pumping stations, and reservoirs owned by the District or the

Cowichan Valley Regional District. It may include temporary retail use, such as flea markets, carnivals or exhibitions, provided that such uses are undertaken for charity and/or are conducted under the auspices of a government body, but does not include government office buildings;

“club” means the use of a building, structure, or land by an association or organization for fraternal, social, recreational, community or benevolent purposes;

“commercial card lock facility” means an establishment which utilizes a cardlock or keylock system to dispense petroleum products from fuel pumps, but does not include service stations;

“commercial composting” means the use or intended use of land for commercially producing growing substance by biologically decomposing organic materials using composting technology (which may include physical turning, windrowing, in-vessel static pile aeration or other mechanical handling), in accordance with the *Waste Management Act* regulations; [BL2984]

“commercial operation” means an occupation, employment, or enterprise that is carried on for the purpose of earning income;

“commercial school” means a building, structure, or land used or intended to be used for the purpose of providing educational courses in the form of a business school, a secretarial school, language school, dancing school and similar facilities;

“commercial use” or **“commercial”** means the use or intended use of a building, structure, land, or any portion thereof as a retail store, office, professional office, hairdresser's salon, or financial institution;

“community care facility” means any facility that provides accommodation and continuous professional care that is defined and licensed under the *Community Care and Assisted Living Act*, and its amendments; [BL3302]

“community garden” means an area of land managed and maintained by a group of people, either collectively or on individual garden plots, to grow vegetables, fruit, flowers, or native plants, and includes gardening instruction, demonstration gardening, and the sale or exchange of items produced on site; [BL3367]

“community hall” means the use or intended use of a building or structure as a meeting place for individuals within the community. It may include periodic, but not permanent, use for social events, crafts sales, and flea markets;

“congregate housing” means a residential multiple-family building which incorporates assisted living, supportive housing or community care facility units for more than ten residents, including resident staff, and includes a private lockable room, separate common areas for dining and socializing, the provision of meals, and housekeeping and may be a registered or licensed facility pursuant to the *Community Care and Assisted Living Act*, and its amendments; [BL3302]

“Council” means the Municipal Council of The Corporation of the District of North Cowichan;

“covered parking” means an off-street parking use located within a building or structure;

“craft or artisan distillery” means an establishment, licensed by the Province of British Columbia, that produces alcoholic beverages by distillation, or by infusion through distillation, and may include a tasting room and retail sales of the product produced on site; [BL3520]

“custom workshop” means a workshop where the production, sales, and servicing of specialized goods or services, including cabinets, signs, window coverings, and furniture occur; where this use is accessory to the principal use, all operations shall be conducted within an enclosed building, and shall not exceed 65% of the gross floor area; [BL3037]

“density” means the following:

- (a) the maximum number of buildings per lot;
- (b) the maximum number of dwelling units per lot; or
- (c) the maximum floor space ratio,

or a combination thereof; [BL3083]

“derelict motor vehicle” means a motor vehicle which is incapable of operating under its own power and does not have attached license plates for the current year, pursuant to the regulations of the *Motor Vehicle Act*, or is unlicensed;

“dining room” means an eating establishment, which may serve alcohol, where food is sold to the public for consumption on the premises;

“drug paraphernalia business” means the use of premises for the display, retailing or renting of illegal

drug-related equipment; [BL3323]

“dwelling unit” means one or more rooms which constitute a single, self-contained living unit including sanitary facilities, sleeping facilities and only one kitchen, and which is used as the residence of only one family; [BL2996]

“eave line” means the horizontal line on a building that marks the extreme edge of the overhang of a roof, and where there is no overhang, the eave line will be the horizontal line at the exterior intersection of the roof and all; [BL3333]

“entertainment use” means a building, structure, or land used or intended to be used for teen clubs, cinemas, theatres, billiard halls, arcades, and the like, and may have accessory food and beverage services;

“family” means one or more persons related through marriage or common law, blood relationship, legal adoption, or legal guardianship, or a maximum of 5 unrelated persons occupying a single-family unit provided it is not an Assisted Living, Supportive Housing or Community Care Facility; [BL3202]

“farm animals” means domesticated cows, donkeys, horses, mules, llamas, emus, ostriches, swine, sheep, or goats, and other animals usually associated with farming, but not necessarily used solely for agricultural purposes; [3758]

“feedlot” means land structure, pen or corral, wherein farm animals are kept for the purpose of fattening for shipment to market;

“fence” means a free-standing structure used to enclose all or part of a lot. It can include retaining walls but does not include hedges or similar landscaping; [BL3891]

“financial institution” means a bank, credit union, acceptance corporation, trust company, finance company, or similar establishment, but does not include a building or premises containing a single bank machine;

“fitness centre/gymnasium” means the use of a building or structure for gymnasiums, weight rooms, exercise studios, hot tubs, saunas, and pools;

“float home” means a structure incorporating a flotation system, used or intended to be used or occupied for residential purposes, containing one dwelling unit only, not primarily intended, or used, for navigation, and does not include a water craft designed or intended primarily for navigation; [BL3068]

“floor space ratio” means the gross floor area of all buildings divided by the lot area;

“food and beverage processing” means the use of a building or structure to house equipment used for processing and/or packaging food, including fish, and beverages to prepare them for sale to the public, and may include a restaurant or sampling area;

“food bank” means the storage and distribution of food products for non-profit and charitable purposes; [BL3283]

“food cart” means a non-motorized mobile cart with a maximum area of 4.65 m² from which food or beverages are carried, contained and offered for sale to the public; [BL3657]

“food trailer” means a portable, self-contained trailer that is equipped to cook, prepare or serve, and offer food or beverages for sale to the public, but does not include a food cart; [BL3657]

“food truck” means a motorized, mobile, self-contained vehicle that is equipped to cook, prepare or serve, and offer for sale food or beverages to the public, but does not include a food trailer or food cart; [BL3657]

“forestry use” means a use providing for the conservation, management, and extraction of primary forest resources, but does not include the manufacturing and processing of forestry products;

“frontage” means the minimum required length of the front lot line;

“funeral parlour” means a building or structure where the dead are prepared for burial or cremation and where funeral services and wakes may be held, and may include a crematorium;

“fur farm” means the use of buildings, structures, or land for the purpose of a commercial operation which raises fur bearing animals for sale, and includes accessory operations for those products which were produced on the lot where the fur farm is located;

“gallery” means a building or structure used for viewing artwork or crafts, and may include the sale of such items;

“gathering for an event” has the same meaning as in the *Agricultural Land Reserve Use, Subdivision and Procedure Regulation*; [BL3662]

“go-kart use” means the use of buildings, structures, or land for the maintenance, repair, operation and racing of go-karts; [BL3761]

“grade” means the average finished ground level at the perimeter of a building or structure;

“greenhouse” means the use of a building, structure, or land for growing plants, transplanting plants, experimenting with plants, or wholesaling the plants produced, and specifically excludes retail sales of the plants produced;

“gross floor area” equals the sum of the floor area of each storey in all buildings on a lot, including exterior walls, but excluding the following:

- (a) attached garages or covered parking areas to a maximum of 42 m² (452 sq. ft.) in area in residentially-zoned (R) lots for single-family dwellings, two-family dwellings or modular homes;
- (b) unenclosed and roofless decks, patios, balconies and porches;
- (c) areas below grade with a maximum ceiling height less than 1.8 m (5.91’);
- (d) elevator shafts and mechanical rooms;
- (e) covered entrances to a maximum of 10 m² (107 sq. ft.) in area; [BL3457]

“guardrail” means a barrier such as a bar or a rail placed along the edge of something such as a retaining wall or staircase so as to improve safety and prevent falls; [BL3891]

“habitable room” means a room used or intended for cooking, eating, sleeping or human occupancy; [BL3383]

“hairstylist” means a business or occupation involving cutting and/or styling hair, and may include the services of an esthetician, beautician, manicurist, masseur, or pedicurist;

“health service” means an establishment primarily engaged in furnishing medical, surgical or health related services to individuals, and includes the offices of physicians, dentists, and other health practitioners; [BL3160]

“height” means the vertical distance from grade to the highest point of a building, excluding church steeples, towers on safety buildings, and silos, as averaged from each of the outermost corners of the building to the highest point of the building;

“helipad” means the use of land for a pad used for the landing and take-off of helicopters; [BL3618]

“highway” includes a street, road, lane, bridge, viaduct and any other way open to public use, but does not include a private right-of-way on private property;

“home-based business” means a commercial operation which is accessory to a residential use within the same lot, and is limited to studios for the production of arts and crafts, automobile repair of private passenger motor vehicles, daycare, hairstylist, office and books, professional office, and small tool and appliance repair;

“hospital” means the use of land, buildings or structures for a hospital, as defined in the *Hospital Act*; [BL3618]

“hotel” means a building which contains sleeping units used or intended to be used for the temporary accommodation of lodgers and it may include accessory facilities such as restaurants, meeting rooms, convention facilities, gift shops, recreational facilities, Cold Beer and Wine Stores, and/or premises which are licensed primarily for the on-site consumption of alcoholic beverages, and includes motel and boatel;

“hotel small scale” means a hotel with a maximum of ten sleeping units, with or without individual cooking facilities, where each unit is no more than 50 m² (538.20 sq. ft.) in floor area, and is accessed from a common internal corridor; [BL3426]

“independent school” means the use of buildings, structures, and land as a private academic school which is licensed under the *Independent School Act*;

“industrial use” means a use providing for processing, fabricating, assembling, storing, transporting, distributing, wholesaling, testing, servicing, repairing, wrecking, or salvaging goods or materials, and selling heavy industrial equipment and retail sales incidental to the principal use, but excludes sawmills, pulp mills, planing mills, commercial composting, and septage facilities; [BL3467]

“kennel” means a structure on and/or a use of land for the purpose of sheltering, boarding, and/or breeding four or more dogs;

“kitchen” means any room designed or used for the operation of a stove, grill, oven, microwave oven, dishwashing equipment, or any other appliance or equipment used for preparing food; [BL2996]

“landscape screen” means a visual barrier formed by a fence, a masonry wall, shrubs, trees, earth berm, or a combination thereof;

“landscaped open space” means the area of a lot used for the growing and maintenance of grass, trees, or shrubs, or used for other landscaping purposes but does not include the area of a lot used for parking nor the area of a lot which is covered with asphalt but may include an area of land which is partially covered with decorative pavers;

“large animal hospital” means any building, structure, or premises, which have outside paddocks or kennels, in which animals are treated for medical reasons or in which animals are hospitalized, and includes veterinary clinics;

“laundromat” means the use of a building or structure for a business enterprise which supplies individuals with the use of washing machines and dryers for monetary compensation. It may include small scale facilities for entertainment (e.g. television), but does not include the sale of alcoholic beverages;

“limited home-based business” means a home-based business of “Office and Books”;

“live-work studio” means a unit in a multi-storey building with an artisan studio, daycare, personal service, office or professional office on the ground floor with a second floor residential dwelling unit accessed through the commercial premises; [BL3426]

“liquor” means beer, wine, spirits or other product that is intended for human consumption and that contains more than 1% alcohol by volume; [BL3651]

“lot” means the smallest area of land designated as a separate and distinct parcel on a subdivision plan, bare land strata plan, or certificate of title filed in the Land Title Office;

“lot area” means the total horizontal area within the lot lines of a lot;

“lot area, panhandle” means any lot which gains highway frontage through the use of a narrow strip of land which is an integral part of the lot. In the case of a panhandle lot, the access strip shall not be included in the calculation of the lot area;

“lot coverage” means the total of the horizontal area of the lot within the vertical projection of the outermost walls of all buildings and structures, and the horizontal area of the lot covered by decks which are 150 mm (.5'), or greater, above grade, expressed as a percentage of the lot area;

“lot line” means a line which marks the boundary of a lot;

“lot line, front” means the lot line common to the lot and an abutting highway, except in the case of:

- (a) a corner lot, where the lot line, front, shall be the shortest lot line common to the lot and the abutting highway,
- (b) a panhandle lot, where the lot line, front, shall be considered the longest lot line that adjoins the abutting highway and forms part of the panhandle, or, excluding the panhandle portion of the lot, that lot line that is parallel to and closest to the highway;

“lot line, side” means all lot lines other than the front lot line and rear lot line;

“lot line, rear” means the lot line opposite to and most distant from the lot line, front, or, where the lot is triangular in the rear, a line measured 1.5 m (5') from the point at the rear of a lot bounded by intersecting lot lines, sides;

“major equipment repair” means the use of buildings, structures, or land for the purpose of repairing farm equipment, construction equipment, industrial equipment, commercial vehicles, and the like;

“manufactured home” means a modular home and mobile home; [BL3367]

“marina” means a facility which provides moorage space for water-going vessels and may also include, as accessory uses, administrative offices, recreational lounges, eating establishments, the retail sale or rental of marine supplies and equipment, laundromat, shower facilities, dock-side boat repair, and water taxi docks, but does not include floating homes or live-aboard marine public houses;

“market community space” means the use of premises for activities, meetings, presentations, and informational/public outreach open houses conducted by local community groups, non-governmental organizations and agricultural or food supply groups. This may also include temporary or permanent educational facilities which promote farming and the processing of farm products. [BL3846]

“market garden” means the use of a building, structure, or land as a market which predominantly sells agricultural products, but may also include a crafts shop, a deli, or a bakery;

“medical education and training” means the use of land, buildings or structures for providing education, courses or training in any medical profession; [BL3618]

“micro cannabis production facility” means a cannabis production facility authorized by a micro license under the *Cannabis Act* and its regulations; [BL3746]

“mini-warehousing” means the use of land, buildings, or structures for the business enterprise of storing the personal goods of others in individual fully enclosed storage compartments which are accessible by motor vehicle for loading and unloading;

“mixed commercial development” means three or more individual commercial business establishments, housed in one or more buildings designed as an integrated unit and contained within one legal parcel of land; [BL3083]

“mixed use building” means a building wherein there are two or more single dwelling units and at least the entire bottom floor of the building is used for commercial purposes;

“mobile food service” means the use or intended use of a food truck, food trailer or food cart; [BL3657]

“mobile home” means a factory built dwelling unit that conforms to Canadian Standards Association (CSA) Z240-MH series standard; [BL3367]

“mobile home space” means an area of land situated within a mobile home park and used for the installation of one mobile home with permissible additions;

“mobile home park” means a parcel of land on which manufactured homes are located and individual sites are made available on a long-term rental basis, together with a recreation area, and any buildings or structures accessory to the mobile home park; [BL3367]

“modular home” means a factory built home that conforms to CSA A277 series standard; [BL3367; BL3722]

“motel” means a hotel, the units of which may include kitchen facilities but does not contain premises licensed for the on-site consumption of alcoholic beverages, or a Cold Beer and Wine store;

“motion picture and television filming” means the filming and production of motion pictures or television shows or series; [BL3761]

“motor vehicle” means a self-propelled vehicle in, on or by which a person or thing may be transported on a highway, but specifically excludes vehicles designed to be used exclusively on stationary rails or tracks, vehicles moved by human power, mobility scooters, and motor-assisted bicycles; [BL3559]

“motor vehicle presentation centre” means the use of a building, structure or land for the display, storage and sales of motor vehicles, motor vehicle parts, accessories and merchandise, including ancillary offices and facilities; [BL3761]

“motor vehicle sales” means the use of a building, structure, or land for the sale of motor vehicles and may include accessory products sales, repair shops, or auto body repair shops;

“motor vehicle testing and driver training facility” means the use of land for a motorsport circuit and off-road circuit that hosts a variety of motor vehicle driving programs in different configurations with different groups, including but not limited to

- (a) motor vehicles driving the circuit to achieve and improve lap times;
- (b) motor vehicles practicing emergency braking, lane changes, cornering and other procedures including some at high speed;
- (c) multiple motor vehicles using the facility simultaneously including during club or manufacturer activities to achieve and improve their driving skills;
- (d) facilities and repair areas to change settings of motor vehicles, change tires, conduct minor maintenance and repairs, and set up motor vehicles;
- (e) club with restaurant, office, retail store, the sale of food and beverages, change rooms and ancillary amenities;
- (f) parking, off-street parking, covered parking, maintenance, warehouse and storage facilities; [BL3761].

“multi-family” means a lot containing more than 2 dwelling units; [BL3457]

“multi-family residence” means a building divided into more than two dwelling units and may include townhouse and stacked townhouse; [BL3495]

“natural boundary” means the visible high-water mark of any lake, river, stream, or other body of water where the presence and action of the water are so common and usual, and so long continued in all

ordinary years, as to mark upon the soil of the bed of the lake, river, stream, or other body of water, a character distinct from that of the banks thereof, in respect to vegetation, as well as in respect to the nature of the soil itself;

“nature sanctuary viewing centre” means the use or intended use of a building, structure, or land for the purpose of viewing, meeting, or displaying nature;

“night club” means an establishment or cabaret which offers the sale of liquor in conjunction with live entertainment and/or dancing;

“nursery” means the use or intended use of a building, structure, or land for the retail or wholesale sales of flowers, fruits, vegetables, shrubs, trees, or similar vegetation and/or gardening implements. It may also include facilities for growing such vegetation;

“occupancy” means the use or intended use of a building or part thereof for sheltering or supporting persons, animals, or property;

“occupy” means to become established in, to reside in, or to use land, buildings, or structures;

“off-street parking” means a use of land or buildings for the parking needs of the principal use of a lot; the area for such use includes parking spaces and internal driveways in parking areas, but does not include access driveways;

“off-street loading” means the use of land or buildings for the loading and unloading needs of the principal use of the same lot;

“office” means a place of business where the principal function is intellectual activity and skill usage other than assembling, manufacturing, repairing, or servicing goods. It includes file areas, storage of office supplies, record keeping, financial records, client and account records, space for interviewing clients and similar space use and includes professional offices;

“personal care use” means a use providing for the care of the sick, injured, or aged persons other than in a public hospital and shall include personal care homes, intermediate and extended care homes, rest homes, and child custodial homes, and includes housing for seniors, or other special needs groups provided that a care component is present;

“personal service” means the use of premises by a barber, aesthetician, manicurist, travel agent, shoe or watch repair person, tailor, dressmaker, or therapeutic, cosmetic or medical massage therapist; [BL3426]

“piggery” means the use of buildings, structures, or land for the purpose of a commercial operation which raises pigs and includes accessory operations for those products which were produced on the lot where the piggery is located;

“poultry” means chickens, turkeys, ducks, gees and pigeons; [3758]

“poultry farm” means the use of buildings, structures, or land for the purpose of a commercial operation which raises poultry, including emu, and ostrich, and includes accessory operations for those products which were produced on the lot where the poultry farm is located;

“principal building” means the building used or intended to be used to accommodate the principal use;

“principal use” means the primary and chief purpose for which land and buildings are used or intended to be used;

“professional office” means an office of an accountant, architect, dentist, engineer, lawyer, doctor, or other medical practitioner;

“pub” means the use of buildings, structures, or land for the purpose of selling alcoholic beverages and which is licensed appropriately under the *Liquor Control and Licensing Act* and which may also include the sale of food for consumption within the premises;

“public lane” means a public thoroughfare or way not more than 10.1 m (33.14') in width which affords only secondary means of access to a site, at the side or rear; [BL3333]

“public use” means a building, facility, or open space, under the direct control of the federal government, provincial government, a regional district, or a municipality and used as a utility, household recycling drop-off depot, office, hospital, prison, university or college, or by a crown corporation, and may include an accessory helicopter landing pad; [BL3457]

“public utility use” means a use providing for public utility facilities for water, sewer, electrical, telephone, and similar services where such use is approved by the District; [BL3083]

“racetrack” means the use of land for the purpose of holding motor vehicle, motorcycle, horse, or go-

cart races;

“recreation area” means an area which is set aside for active or passive recreation and which is exclusive of the required yards;

“recreational facility” means the use of buildings, structures, or land for gymnasiums, indoor or outdoor racquet courts, curling rinks, skating rinks, swimming pools, aerobic studios, weight rooms, bowling alleys, and the like, and may include accessory restaurants, offices, or sporting goods sales;

“recreational vehicle” means a (a) camper, (b) travel trailer, (c) fifth wheel, or (d) motor home, with a maximum width of 2.6 m in transit mode that is licensed under a Provincial enactment; [BL3521]

“recreation facility small scale,” means the use of premises as a facility for indoor racquet courts, swimming pools, hot tubs, saunas, aerobic studios, or weight room; [BL3521]

“recycling drop-off depot” means the use of land or a building for the drop-off of household recyclable materials; [BL3521]

“recycling depot” means the use of a building to collect and sort municipal solid waste, refund containers, or recyclable material but does not include recycling industrial use; [BL3521]

“recycling industrial use” means the use of land, a building, or a structure

- (a) to process municipal solid waste or recyclable material into new products, or
- (b) for a feedstock to manufacture products, or
- (c) to convert recyclable materials or municipal solid waste into a form suitable for transportation or manufacture into new products; [BL3521]

“residential building” means a building containing a residential use and/or sleeping unit;

“residential rental tenure” means, in relation to a dwelling unit, a tenancy governed by a tenancy agreement that complies with the Residential Tenancy Act; [BL3868]

“residential use” means the occupancy or use of a building, or part thereof, as a dwelling unit;

“resource use” means a use providing for extracting, grading, crushing, screening, and storing sand, gravel, minerals, and peat, but excludes all manufacturing of products;

“restaurant” means an eating establishment, which may serve alcohol, where food is sold to the public for consumption within the premises, within the patron's motor vehicle, or to be taken to another location for consumption;

“retail store” means a use of a building or land to sell or rent goods or wares, other than motor vehicles and heavy equipment; [BL3323]

“retaining wall” means a structure erected to hold back, stabilize or support water or land. It involves the alteration of land and is used to stabilize or modify slopes, level sites, and correct grade differences.

Retaining walls may also form a system containing one or more terraced retaining walls; [BL3891]

“riding stable” means a building, structure, or premises used for a commercial operation as a stable where horses can be trained or boarded, or where riding lessons can be given;

“riparian assessment area” means the following, when measured from the high water mark:

- (a) for a stream, the 30 m (98.43') strip on both sides of the stream,
- (b) for a ravine less than 60 m (196.85') wide, a strip on both sides of the stream measured to a point that is 30 m (98.43') beyond the top of the ravine bank, and
- (c) for a ravine 60 m (196.85') wide or greater, a strip on both sides of the stream measured to a point that is 10 m (32.81') beyond the top of the ravine bank; [BL3323]

“seafood market” means the use of buildings, structures, or land for the retail sale of seafood and related items;

“secondary suite” means an additional dwelling unit which is accessory to a single-family dwelling or a two-family dwelling, and meets the requirements set out in section 40.4(1); [BL3033, BL3674]

“septage” means a combination of water carried liquid and solid wastes or settles solids from residences, businesses and institutions normally collected in a septic tank, holding tank, or accumulated in wastewater lines; [BL3467]

“septage facility” means any facility, operations or process associated with the gathering, treatment, transportation, transfer, storage, utilization or discharge of sewage waste; [BL3467]

“service industry” means the use of land and buildings for the testing, assembling, wholesaling, cleaning, servicing, printing, repairing, and maintaining goods and materials, except as otherwise provided herein,

including the sale of tools, lawnmowers, garden equipment, and any similar commodities;

“service station” means a use providing for the retail sale of motor fuels and lubricants as its principal use and may include a car wash, the service and repair of motor vehicles and the sale of automotive accessories, but does not include body shops, commercial card lock facilities, paint shops, welding shops, or machine shops;

“setback” means the horizontal distance measured at right angles from the lot line and along a parallel line to a use or wall of a building or structure which is nearest to that specific lot line;

“shipping container” means a container designed to store and transport cargo by ship, rail, or truck, whether or not it is actually used for such a purpose; [BL3457]

“single-family dwelling” means any building, consisting of one dwelling unit, used or intended to be used as the residence of one family, and includes a manufactured home placed on a permanent foundation; [BL3367]

“slaughterhouse” means a building wherein animals and/or poultry are killed and butchered;

“sleeping unit” means one or more habitable rooms used to accommodate any persons for a period of three (3) consecutive months or less in a calendar year;

“small sawmill” means a facility for sawing, planing and dressing logs harvested from the property upon which the facility is located or from adjacent lands; [BL3452]

“solid fence” means a fence made of wood, masonry, or other material which is intended to act as a visual screen and which cannot be seen through;

“stacked townhouse” means a building containing at least three and not more than eight dwelling units attached by a party wall, where dwelling units may be stacked above one another, where each dwelling unit has direct access to the outdoors at grade and utilizes internal stairs to access the upper units; [BL3426]

“storage yard” means buildings, structures, or land used or intended to be used for storing materials. It excludes those materials classified as “special wastes” under the *Waste Management Act*;

“stream” means any of the following that provide fish habitat:

- (a) a watercourse, regardless of its water content,
- (b) a pond, lake, river, creek or brook, and
- (c) a ditch, spring or wetland that is connected by surface flow to a watercourse, pond, lake, river, creek or brook; [BL3323]

“structure” means any construction fixed to, supported by, or sunk into land or water but excludes concrete slabs on finished or natural grade, and decks on grade which are less than 0.61 m in height; [BL3891]

“supportive housing” means the use of a building designed to accommodate residents as they age and includes a private lockable room, separate common areas for dining and socializing, the provision of meals, and housekeeping, but does not include a community care facility; [BL3302]

“tea room” means a restaurant which may include outside seating and the accessory sale and display of arts and crafts, but specifically excludes “fast food restaurants”;

“temporary mobile home” means a mobile home which is permitted under the Temporary Mobile Home Permit Bylaw; [BL3754]

“tourist accommodation” means the use of land or buildings for providing overnight accommodation to tourists and may include the provision of parking for recreational vehicles or the provision of space for tents, and also may include the provision of accessory facilities;

“townhouse” means a building containing at least three, and not more than six dwelling units attached by a party wall, located on 1 lot, with all dwelling units having direct access to the outdoors at grade; [BL3383]

“trade school” means buildings, structures, or land used, or intended to be used, for operating a school which offers courses relating to the trades’ fields (e.g. welding, mechanic, etc.);

“two-family dwelling” means a building, containing two dwelling units which, if joined by a party wall, are primarily adjoined by habitable space rather than a carport, located on a single lot or on two strata lots.

“use” means the purpose or function for which land, or buildings, is used or is designated or intended to be used and/or occupied;

“veterinary clinic” means any fully enclosed building, structure, or premises, in which veterinary medicine

is practiced, which does not have outside paddocks or kennels;

“warehouse” means the use or intended use of a building, structure or land for storing goods or merchandise;

“watercourse” means any natural or man-made channel through which water flows, serving to give direction to a current of water;

“yacht club” means all buildings, land, foreshore, water lots, and land covered by water occupied for recreation use of a bona fide club incorporated under the *Society Act* and amendments thereto, for the purpose of boating, sailing, or yachting, and other club activities;

“yard, front” means that portion of the lot extending from one side lot line to another between the front lot line and a line drawn parallel thereto at a distance prescribed by the minimum setback of the zone in which the lot is located. The depth of such yard shall mean the perpendicular distance between the front lot line and the parallel line;

“yard, rear” means that portion of the lot, extending from one side lot line to another, between the rear lot line and a line drawn parallel thereto at a distance prescribed by the minimum setback of the zone in which the lot is located. The depth of such yard shall mean the perpendicular distance between the rear lot line and the parallel line. In the case of a lot where the side lot lines intersect at a point, the rear yard shall be established in accordance with the definition of “lot line, rear”;

“yard, side” means that portion of the lot, extending from the front lot line to the rear lot line, between the side lot line and the line drawn parallel thereto at a distance prescribed by the minimum setback of the zone in which the lot is located. The width of such yard shall mean the perpendicular distance between the side lot line and the parallel line;

“zone” means the areas into which the District is divided in accordance with this Bylaw, and attached schedules, and for which specific regulations are outlined; and

“zoning map” means the map marked Schedule “C” attached hereto and made part of this Bylaw. [BL3302]

- 12.1** Unless specifically included in a definition, the sale, distribution or trade of cannabis and its derivatives is excluded. [BL3688]

PART 4 – GENERAL REGULATIONS

Watercourses

- 13** (1) Despite any other provisions of this Bylaw, other than section 80.2 (7) (d), no building or part thereof shall be constructed, altered, moved, or extended, nor shall any mobile unit, manufactured home, structure, or fill be located: [BL3323]
- (a) within 7.5 m (24.6') from the natural boundary of the sea, or
 - (b) within the riparian assessment area, unless the requirements of the *Riparian Areas Regulation* of the *British Columbia Fish Protection Act* have been met;
 - (c) within 15.0 m (49.21') from the natural boundary of any other watercourse or source of water supply, excluding wells.

Flood Control Requirements

- 14** (1) The underside of the floor system of any building, structure or manufactured home used for habitation, business, or storing goods which can be damaged by water must not be lower than the flood construction level established under subsection (2). [BL3457]
- (2) The flood construction level is, where applicable,
- (a) shown on the Flood Construction Level Map for the lower Cowichan River and Somenos Area, marked Schedule "K", attached to and forming part of this bylaw,
 - (b) shown on the floodplain area map designated pursuant to the Canada/British Columbia Floodplain Mapping Agreement (1988) for the Chemainus River,
 - (c) 3.0 m above the natural boundary of the Chemainus River and Cowichan River where not identified in paragraphs (a) and (b),
 - (d) elevation 27.4 m (Geological Survey of Canada (G.S.C.) datum) surrounding Quamichan Lake,
 - (e) 1.5 m above the natural boundary of the sea, any lake, watercourse, intermittent pond, or swamp in the immediate flood hazard area not identified above, or
 - (f) not lower than 0.6 m above the 200-year flood level as established by a qualified professional engineer.

General Exemptions

- 15** (1) The restrictions established by sections 13 and 14 of this Bylaw shall not apply to on-loading and off-loading facilities associated with water-oriented industries within the Industrial Heavy Zone (I2), to portable sawmills, nor to other bona fide water lot uses. Main electrical switchgear shall be placed above the flood construction level, and electrical circuits extending into areas that flood shall be provided with cut-off switches.
- (2) Section 14 shall not apply to:
- (a) an addition to a building or structure used as a residence that would increase the size of the building or structure by less than 25% of the floor area existing at the date of adoption of this Bylaw; and
 - (b) that portion of a building or structure designed or intended for uninhabited residential use such as a carport or garage, storage areas, utility areas, or workshops.

Building Separations

- 16** No accessory building shall be located within 1.22 m (4') of any principal building, measured from eave to eave.

Off-street Parking

- 17** (1) (a) Off-street parking facilities shall be provided and maintained for all developments in accordance with sections 17-24.
- (b) All required off-street parking areas, driveways, and accesses shall be paved, marked, numbered, bumpered, illuminated, and drained to the standard established by the

Municipal Engineer.

- (2) Off-street parking facilities for Single-Family Residences and Two-Family Residences are hereby exempted from the standards set out in section 17 (1) (b).
- (3) Off-street parking facilities for Mobile Home Park are required to follow the standards set out in the "Mobile Home Park Bylaw 1978", No. 1775.
- (4) Off-street parking facilities for institutional uses which are located within the Agricultural Zone (A1) or Rural Zone (A2), are hereby exempted from the above paving, marking, and numbering standards. However, such parking facilities must be graveled, illuminated, and bumpered.
- (5) Where there is more than one use of a lot, required off-street parking spaces shall be calculated and provided for each use.

- 18**
- (1) All required off-street parking shall be located on the same lot as the building or use for which the parking is required, except where an owner or occupier has paid for parking instead of providing off-street parking, pursuant to a Bylaw adopted under the *Municipal Act*.
 - (2) No off-street parking is permitted in the required front yard of the following zones:
 - (a) Residential Multi-Family Zone (R7);
 - (b) Residential Ground-Oriented Multi-Family Zone (R7-A);
 - (c) Residential Multi-Family Apartment Zone (R8). [BL3427]

19 The minimum setback for off-street parking for Commercial, Industrial, and Institutional uses for the Yard, Front is .6m (1.96').

20 All required visitor parking spaces must be designated as such by appropriate signs.

20.1 At most, 25% of the number of off-street parking spaces required by this bylaw may be for small cars. [BL3150]

21 The minimum number of required off-street parking spaces for each use category shall be as follows:

- (1) Residential

Assisted Living, Supportive Housing, and Community Care Facilities with a maximum of 10 residents	1 space per 3 resident rooms plus the single-family requirements
Bed and Breakfast	1 space per guest room plus the single-family requirements
Boarding and Rooming House	1 space per boarder plus the single-family requirements
Accessory Dwelling Unit	2 spaces
Congregate Housing	1 space per 3 resident rooms plus 15% of the total number of rooms designated as visitor and staff parking
Detached Accessory Dwelling Unit, Secondary Suite	1 space
Home-based Business	1 space per 46 m ² (495.16 sq. ft.) gross floor area plus the single-family requirements
Mobile Home on Lot	2 spaces
Mobile Home in Park	1.5 spaces
Mobile Home Office in Park	3 spaces
Modular Home	2 spaces
Multi-Family Residential, Apartment containing five or more dwelling units or	1.5 spaces per dwelling unit plus spaces designated as visitor parking equal to 15% of the total number of units.

more than one residential building	
Multi-Family Residential, Townhouse containing five or more dwelling units or more than one residential building	2 spaces per dwelling unit plus spaces designated as visitor parking equal to 15% of the total number of units.
Multi-Family Residential containing four or fewer dwelling units.	1 space per dwelling unit.
Single-Family Dwelling, Two-Family Dwelling	2 spaces per unit
Complex containing two or more Single-Family Dwellings or Two-Family Dwellings	The spaces required for each dwelling unit plus spaces designated as visitor parking equal to 15% of the total number of units.
Temporary Mobile Home	2 spaces

[BL3302, BL3367, BL3457, BL3754]

(2) Institutional

Assembly Hall	1 space per each 20 m ² (215.3 sq. ft.) of gross floor area
Church	1 space per 10 seats
Community Hall	1 space per each 10 m ² (107.6 sq. ft.) gross floor area
Elementary School	1 space per classroom plus 5 additional spaces
Middle School	1 space per classroom plus 10 additional spaces
High School	5 spaces per classroom plus 10 additional spaces
Hospital	1.5 spaces per 3 bed spaces
Library, Aquarium, Gallery, Museum	1 space per 30 m ² (322.92 sq. ft.)
Personal Care Use	1 space per 3 sleeping units

[BL3562]

(3) Recreational

Bowling Alley	2 spaces per alley
Fitness Centre/Gymnasium	1 space per 10 m ² (107.6 sq. ft.) gross floor area
Golf Course (9-hole)	50 spaces per course
Golf Course (18-hole)	100 spaces per course
Golf Driving Range	1.5 spaces per tee
Stadium or Arena	1 space per 3 seats
Swimming Pool	1 space per 15 m ² (161.46 sq. ft.) gross usable recreation area
Theatre	1 space per 4 seats

(4) Commercial

Automobile, Truck, and Boat Sales	1 space per 70 m ² (753.47 sq. ft.) gross floor area
Commercial School, Trade School	1 space per 19 m ² (204.5 sq. ft.) gross floor area
Financial Institution	1 space per 20 m ² (215.2 sq. ft.) gross floor area
Hotel, Motel, Restaurant, Tea Room, Club, Licensed Premises	1 space per sleeping unit and 1 space per 4 seats
Laundromat	1 space per 19 m ² (204.5 sq. ft.) gross floor area
Mixed Commercial Development	1 space per 20 m ² (215.3 sq. ft.) of gross floor area
Office, Professional Office	1 space per 37 m ² (398.26 sq. ft.) gross floor area
Repair Shop	1 space per 45 m ² (484.37 sq. ft.) gross floor area
Retail Store, Personal Service Establishments	1 space per 19 m ² (204.5 sq. ft.) gross floor area
Theatre, Cinema	1 space per 4 seats
Warehouse	1 space per 185 m ² (1,991.32 sq. ft.) gross floor area

[BL3083]

(5) Industrial

Industrial/ Light Industrial Use	1 space per 100 m ² (1,076.43 sq. ft.) gross floor area, or 1 space per 2 employees (whichever is lesser) or where there is no building, a minimum of 5 spaces are required.
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(6) Marine

Boatel	1 space per 2 sleeping units
Commercial Float Plane Facility	3 spaces per berth
Float Home	1.5 spaces per dwelling plus 15% of the total number of units designated as visitors' parking
Marina	1 space per 2 boat berths plus 20 car and boat-trailer spaces for each boat-launching lane

[BL3068]

(7) Requirements for apartment buildings, townhouses, and subsidized housing which are located in the area bounded by Beverly Street, York Avenue, Howard Avenue, and Alexander Street

Apartments/Townhouses/ Government Subsidized Housing Projects	1 parking space per dwelling unit plus 15% of the total number of units designated as visitor parking
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(8) As part of the above parking space requirements, parking spaces for use by persons with disabilities must be provided as follows:

Number of Required Parking Spaces	Number of Parking Spaces for Use by Persons with Disabilities
First 1 to 4	0
Next 5 to 20	1
Next 21 to 100	2
Next 101 to 1000	2 spaces per 100 required spaces or part thereof
Next 1001 and more	1 space per 100 required spaces or part thereof

[BL3457]

- (9) Despite the above, at least one parking space for use by persons with disabilities must be provided
- (a) for every dwelling unit used, designed, or intended to be used by persons with physical disabilities, and
 - (b) where fewer than 5 parking spaces are required for a commercial, Multi-Family, institutional, recreational, marine or industrial development. [BL3457]

22 Where the number of required off-street parking spaces is based on seating capacity, each 0.61 m (2.01') of pew, bench, or other seating shall count as one seat.

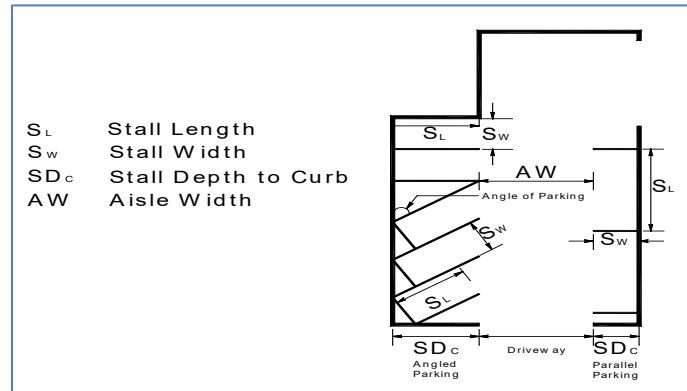
23 The minimum number of parking spaces required for each use shall be calculated to the nearest whole number. [BL3754]

Minimum Off-street Parking Areas

24 (1) Subject to subsection (2), every parking space must conform to the following requirements as shown in the diagram below them: [BL3150, BL3457]

Large Car Parking Layout Dimensions				
Dimension	Parking Angle			
	0°(Parallel)	90°	60°	45°
Stall width (S_w)	2.8 m (9.19')	2.6 m (8.53')	2.6 m (8.53')	2.6 m (8.53')
Stall length (S_L)	6.7 m (21.98')	5.8 m (19.03')	5.8 m (19.03')	5.8 m (19.03')
Stall depth to curb (SD_C)	2.8 m (9.19')	5.8 m (19.03')	6.3 m (20.67')	5.9 m (19.36')
Aisle width – 1-way (AW)	4.0 (13.12')	N/A	5.2 m (17.06')	4.0 m (13.12')
Aisle width – 2-way (AW)	6.1m (20.01')	7.6 m (24.93')	6.1 m (20.01')	6.1 m (20.01')
Small Car Parking Layout Dimensions				
Dimension	Parking Angle			
	0°(Parallel)	90°	60°	45°
Stall width (S_w)	2.8 m (9.19')	2.6 m (8.53')	2.6 m (8.53')	2.6 m (8.53')
Stall length (S_L)	5.0 m (16.4')	4.6 m (15.09')	4.6 m (15.09')	4.6 m (15.09')
Stall depth to curb (SD_C)	2.8 m (9.19')	4.6 m (15.09')	5.3 m (17.39')	5.1 m (16.73')

Small Car Parking Layout Dimensions				
Dimension	Parking Angle			
	0°(Parallel)	90°	60°	45°
Aisle width – 1-way (AW)	4.0 m (13.12')	N/A	5.2 m (17.06')	4.0 m (13.12')
Aisle width – 2-way (AW)	6.1 m (20.01')	6.7 m (21.98')	6.1 m (20.01')	6.1 m (20.01')



- (2) Despite subsection (1), the following additional requirements shall apply:
- (a) If the door of a building or structure opens into the parking area, or where the parking space is adjoined on one or two sides along its depth by a fence, wall column, post, or similar obstruction, the minimum width of that parking space shall be increased to 3.0 m (9.84');
 - (b) Where a parking space is adjoined on one side along its depth by a fence, wall, column, post, or similar obstruction and on another side along its depth by a door, the minimum width of that parking space shall be increased to 3.4 m (11.15');
 - (c) In the case of boat-launching ramps, each car and boat trailer parking space shall be a minimum of 3.0 m (9.84') in width and 12.0 m (39.37') in length; and
 - (d) The minimum centre line radius of any travel lane in a maneuvering aisle shall be 7.6 m (24.93');
 - (e) Parking stalls for persons with disabilities must
 - (i) be at least 3.7 m (12.14') wide,
 - (ii) include at least 1.2 m (3.94') of width, which may be shared with an adjacent parking stall, for entry and exit of a vehicle,
 - (iii) be located close to the accessible entrance of a principal building,
 - (iv) have a firm, level, and slip-resistant surface,
 - (v) include a wheelchair ramp where one does not exist, and
 - (vi) be clearly marked for the sole use of persons with disabilities. [BL3457]

Off-street Loading

- 25** Off-street loading areas, with vehicular ingress to and egress from a street or lane, shall be provided on Commercial, Industrial, and Multi-Family Residential zoned lands in accordance with sections 26-28, except for the following:
- (1) Townhouses, ground-oriented residential uses, and similar dwellings that have direct access to the outdoors at grade; and
 - (2) Service commercial uses; and
 - (3) Commercial and mixed-use buildings with a total gross floor area of 1000m² or less.

- 26** Required off-street loading areas shall be provided on the same lot as the building or use for which they

are required. Off-street loading areas shall not be used for parking purposes.

- 27** The required number of off-street loading spaces is as follows:
- (1) Buildings having a gross floor area of 2,000 m² (21,520 sq. ft.), or less, are required to have one off-street loading space; and
 - (2) Buildings having a gross floor area of more than 2,000 m² (21,520 sq. ft.) except for multi-family residential use, are required to have two off-street loading spaces.
- 28** Off-street loading spaces shall not be less than 3 m wide, 12 m long, and 5 m of vertical clearance, except for the following:
- (1) Multi-family residential off-street loading space shall not be less than 3 m wide, 9 m long, and 4 metres of vertical clearance. [BL3957]

On-site Garbage, Recycling and Composting Containers and Enclosures

- 29** (1) All lots developed for multiple-family residential, commercial, or institutional uses must provide a common area(s) for a garbage, recycling and composting containers that meet all the following:
- (a) Enclosed by walls or decorative fencing for the purposes of screening; and
 - (b) At a convenient location and elevation; and
 - (c) On the same lot as the use for which it is required.
- (2) Subsection (1) does not apply to townhouse developments. [BL3958]

Home-based Businesses

- 30** All activity relating to a home-based business, including the storage of associated goods, must comply with the following:
- (1) be conducted only by the resident of the dwelling unit and a maximum of one non-resident employee;
 - (2) be conducted entirely within a dwelling unit or a permitted accessory building, with the exception of a daycare which may use an outdoor play area;
 - (3) occupy no more than the lesser of
 - (a) 46 m² (495.16 sq. ft.) of gross floor area, or
 - (b) 20% of the gross floor area if goods for sale are not manufactured, repaired, or refinished on site;
 - (4) not involve
 - (a) the exterior display or sale of goods,
 - (b) the sale of goods that are not related or ancillary to the home-based business,
 - (c) the display of more than one exterior sign, which sign must not be illuminated or larger than 0.4 m² (4.31 sq. ft.) in area,
 - (d) the storage or parking of more than one identifiable commercial vehicle on the lot at one time,
 - (e) the accommodation of more than 8 persons in a daycare,
 - (f) the creation of on-street traffic or parking congestion,
 - (g) pressure spray-painting, or
 - (h) welding. [BL3323]
- 31** Home-based businesses which discharge or emit the following will not be permitted:
- (1) odorous, toxic, or noxious vapours and/or matters;
 - (2) heat, glare, electrical interference, or radiation; and/or
 - (3) recurring ground vibration.

- 32** The "Automobile Repair" facet of home-based business shall not:
- (1) involve bodywork;

- (2) involve repair to any type of motor vehicle other than private passenger motor vehicles; or
- (3) be conducted on a lot less than 4,000 m² (0.988 acres) in area.

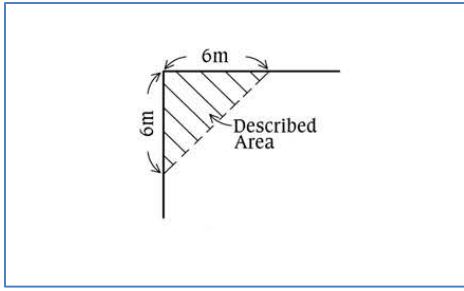
32.1 Any home-based business or retail store that is an adult novelty business or drug paraphernalia business must not be located within 1 km of a school. [BL3323]

Projections into Required Yards/Setbacks

- 33** (1) All required setback areas must be kept free of buildings and structures, excluding permitted projections.
- (2) Where a principal or accessory building, or any portion thereof, is situated wholly below ground, no setbacks are required in the yards, side, or the yard, rear, to that building or portion of that building situated wholly below ground.
- 34** A swimming pool shall not be located within 1.5 m (4.92') of any lot line.
- 35** (1) The following may project not more than 0.6 m (1.97') into any required yard:
- (a) a step;
 - (b) an eave;
 - (c) an awning;
 - (d) a canopy;
 - (e) an open, cantilevered balcony without a roof;
 - (f) a porch;
 - (g) a chimney;
 - (h) a cornice;
 - (i) a gutter;
 - (j) a pilaster;
 - (k) a sill; and
 - (l) a bay window without any habitable floor area. [BL3457]
- (2) The following may project into the front yard:
- (a) a step accessing a primary entrance;
 - (b) a ramp that is providing an accessible route to a primary entrance;
 - (c) a deck, canopy, awning, porch, or balcony, provided that such projections do not exceed 2.0 m (6.56 ft.).
- (3) Despite subsections 35 (1) and 35 (2), a step, canopy, or cantilevered balcony may project not more than 1.2 m (3.93') into a required front or rear yard of an apartment or townhouse.
- (4) Despite subsection 35 (1) and 35 (2) upper storey deck, porch or balcony projections are not permitted in the front yard of a lot accessed by a panhandle.
- (5) Land within 4.5 m (14.76') from a property line must not be used for the placement of a generator, a heat pump or an air conditioner. [BL3754, BL3764]
- (6) For certainty, a projection designed to accommodate furniture (e.g. a dining room hutch) must meet every yard requirement.

Vision Clearance

36 No obstruction of sight above 1.1 m (3.60') in height from street level shall be permitted at a road junction or intersection within the triangular area formed by the two intersection lot lines and the line joining the points on such lot lines 6 m (19.69') from the point of intersection, except in the Commercial General Zone (C2). [BL3323]



Fences & Retaining Walls [BL3891]

- 37**
- (1) [Repealed. BL3891]
 - (2) [Repealed. BL3891]
 - (3) Fence additions (e.g. barbed wire) shall be included in the calculation of total fence height.

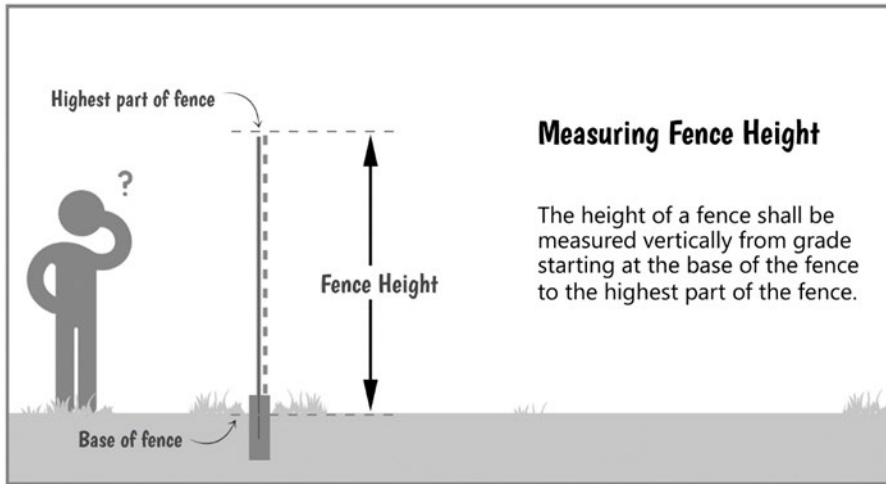
Fences [BL3891]

37.1 *Fence height determined by zone*

- (1) There is no maximum height for fences unless otherwise specified in a zone as set out in this Bylaw and summarized in subsection 37.1 (8).

Measuring height

- (2) The height of a fence shall be measured vertically from grade starting at the base of the fence to the highest part of the fence.



Fence additions

- (3) Fence additions (e.g. barbed wire or ornamentation) shall be included in the calculation of total fence height.
- (4) For the purpose of calculating fence height, any arch, arbor, trellis or pergola affixed to or supported by a fence shall be deemed part of the fence.

Front yard fence

- (5) Where a fence on the side of a property is also located within the setback of the front lot line, the "front" fence height restriction shall take precedence for that portion of the side fence.

Vision clearance

- (6) Fences are subject to vision clearance provisions of section 36.

Fences located near retaining walls

- (7) Fence height for any fence located within 1.2 m of a retaining wall is regulated under subsection 37.2 (4), except where such retaining wall is authorized in an accepted grading plan within the subdivision process.

Fence Height Restrictions by zone and yard location

- (8) The maximum fence heights in each zone are as follows:

ZON E	NAME	MAXIMUM FENCE HEIGHT RESTRICTIONS		
		YARD, FRONT	YARD, SIDE	YARD, REAR
A1	Agriculture	No restrictions		
A2	Rural	No restrictions		
A3	Rural Restricted	1.2 m	2.0 m	2.0 m
A4	Rural Resources	No restrictions		
A5	Rural Residential	1.2 m	2.0 m	2.0 m
A6	Rural Market	No restrictions		
R1	Residential Rural	1.2 m	2.0 m	2.0 m
R1-U	Urban Residential Rural Zone	1.2 m	2.0 m	2.0 m
R2	Residential Restricted	1.2 m	2.0 m	2.0 m
R2-R	Rural Residential Restricted	1.2 m	2.0 m	2.0 m
R3	Residential One and Two Family	1.2 m	2.0 m	2.0 m
R3-R	Rural Residential One and Two Family	1.2 m	2.0 m	2.0 m
R3-S	Residential Small Lot Single Family	1.2 m	2.0 m	2.0 m
R3-MF	Residential Medium Density Multi-Family	1.2 m	1.8 m	1.2 m
R4	Residential Small Lot Mobile Home	1.2 m	2.0 m	2.0 m
		Conditions as per Section 39.1		
R5	Residential Mobile Home Park	<u>Subject to "Mobile Home Park Bylaw 1978", No. 1775.</u>		
		Conditions as per Section 39.1		
R6	Residential Townhouse	1.2 m	2.0 m	2.0 m
		Conditions as per Section 39.1		
R7	Residential Multi-Family	1.2 m	2.0 m	2.0 m
		Conditions as per Section 39.1		
R7-A	Residential Ground-Oriented Multi-Family	1.2 m	2.0 m	2.0 m
		Conditions as per Section 39.1		
R8	Residential Multi-Family Apartment	1.2 m	2.0 m	2.0 m
		Conditions as per Section 39.1		
W1	Private Residence Water Lot	No restrictions		
W2	Light Commercial Water Lot	No restrictions		
W3	Mixed Use Commercial Water Lot	No restrictions		
MA1	Upland Tourist Commercial Marine	No restrictions		
MA2	Upland Tourist Commercial/Residential Marine	No restrictions		
C1	Commercial Local	Conditions as per Section 39.2		
C2	Commercial General	Conditions as per Section 39.2		
C3	Commercial Service	Conditions as per Section 39.2		
C4	Commercial Recreational	Conditions as per Section 39.2		
C6	Commercial Professional	Conditions as per Section 39.2		

C7	Commercial Rural Hospitality	Conditions as per Section 39.2		
C8	Commercial Rural Recreation	Conditions as per Section 39.2		
C9	Chemainus Commercial	Conditions as per Section 39.2		
I1	Industrial Light	Conditions as per Section 39.3		
I2	Industrial Heavy	Conditions as per Section 39.3		
PI	Private Institutional	No restrictions		
PU	Public Use	No restrictions		
PC	Public Conservation	No restrictions		
CD1	Cliffs CDZ	1.2 m	2.0 m	2.0 m
CD2	Chemainus Quay CDZ	No restrictions		
CD4	CDZ – Mixed Family	1.2 m	2.0 m	2.0 m
CD6	Chemainus Artisan Village CDZ - Areas 1 and 2	1.2 m	1.2 m	2.0 m
CD6	Chemainus Artisan Village CDZ - Area 3	1.2 m	1.2 m	1.5 m
CD7	Stonehill CDZ	1.2 m	1.2 m	1.8 m
CD8	Maple Bay School Site CDZ	No restrictions		
CD9	Multi-Family CDZ	1.2 m	2.0 m	2.0 m
CD10	Urban Medium Density CDZ	No fences over 1.2 m in any yard that abuts public property, a highway or lane		
		No fences over 1.8 m in any other yard		
CD11	Community Services (Health Care) CDZ	No restrictions		
CD12	Residential Two-Family CDZ	1.2 m	1.8 m	1.2 m
CD13	Ground-Oriented Urban Residential CDZ	1.2 m	2.0 m	2.0 m
CD14	University Village Mid-Rise Residential CDZ	1.2 m	2.0 m	2.0 m
CD15	Mixed Use Residential	1.2 m	2.0 m	2.0 m
CD16	Mixed Use Commercial Core	No restrictions		
CD17	Congregate Housing CDZ	1.2 m	1.2 m	2.0 m
		Fencing along Friendship Trail must not exceed 2.0 m		
CD18	Kingsview CDZ	1.2 m	2.0 m	2.0 m
CD19	University Village	No restrictions		
CD20	The Commons CDZ	1.2 m	2.0 m	2.0 m
CD21	Motorsport Circuit CDZ	No restrictions		
CD22	Paddle Road North CDZ	1.2 m	2.0 m	2.0 m
CD23	Ford Road South CDZ	1.2 m	2.0 m	2.0 m
CD24	Village Residential Infill CDZ ^[BL3920]	1.2 m	2.0 m	2.0 m
CD25	Gilana Place Two-Family Detached CDZ	1.2 m	2.0 m	2.0 m

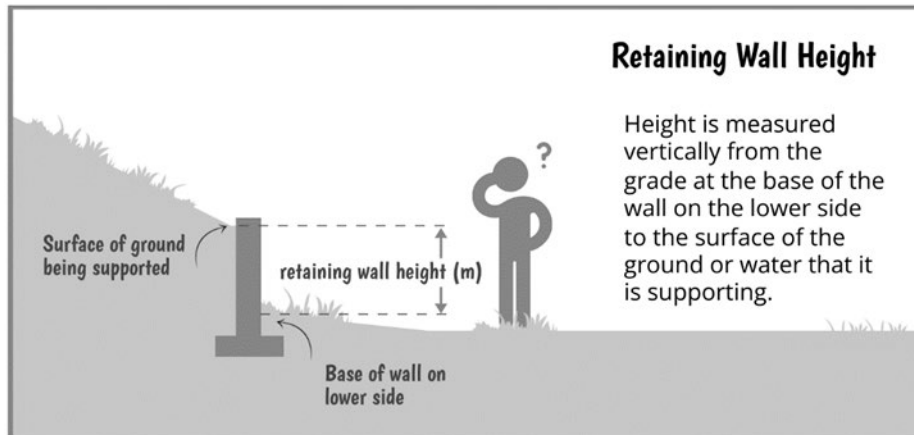
Retaining Walls ^[BL3891]

37.2 Maximum allowable height

- (1) Retaining walls located in yards are subject to fence height restrictions in subsection 37.1 (8), whether or not combined with fencing elements, except where authorized on an accepted grading plan within the subdivision process.
- (2) No retaining wall in any location shall be greater than 2 m in height, except where authorized on an accepted grading plan within the subdivision process.

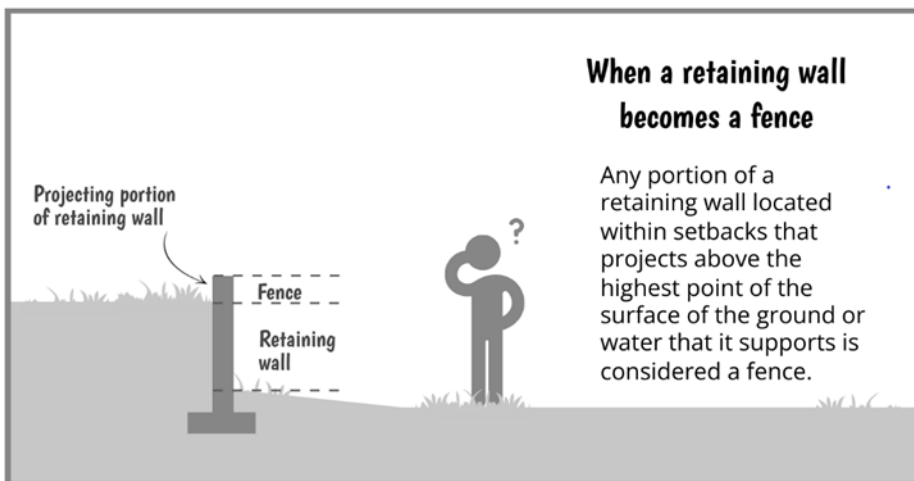
Measuring retaining wall height

- (3) Retaining wall height shall be measured vertically from the grade at the base of the wall on the lower side to the surface of the ground or water it supports.



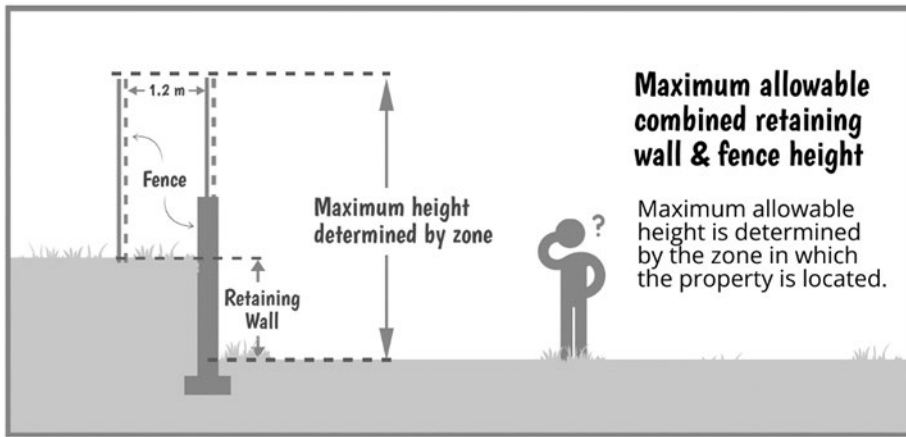
Portion of retaining wall considered as a fence

- (4) Any portion of a retaining wall that projects above the highest point of the surface of the ground or water it supports is considered a fence.



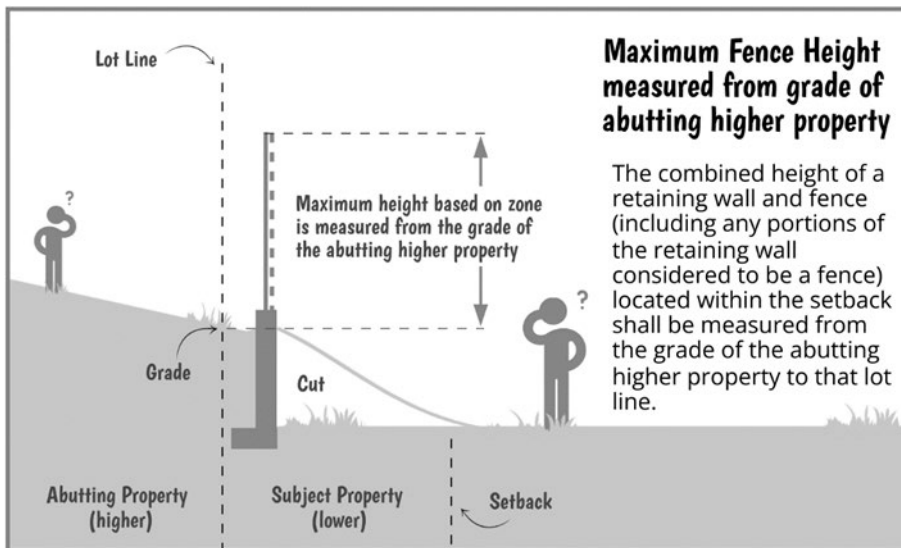
Maximum allowable retaining wall height when combining a retaining wall and fence

- (5) The combined height of a retaining wall and fence (where the fence is located within 1.2 m of that retaining wall), or any portion of a retaining wall considered to be a fence, shall not exceed the applicable maximum allowable fence height as per subsection 37.1 (8), except where the retaining wall is authorized on an accepted grading plan within the subdivision process, in which case the fence component of a combined retaining wall and fence shall be subject to the maximum fence heights specified in subsection 37.1(8).



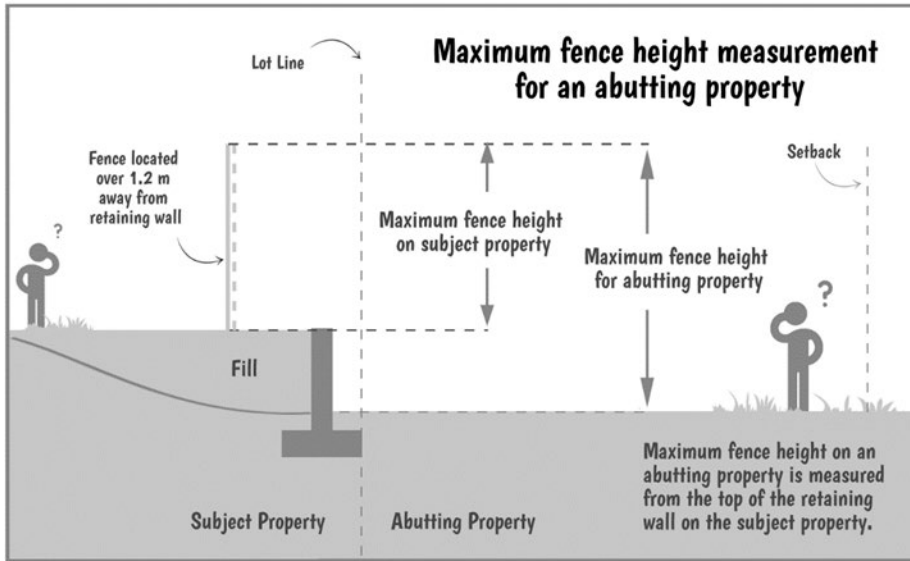
Maximum height measured from grade of higher abutting property

- (6) In the case of a retaining wall constructed in accordance with subsection 37.2 (5), the combined height of a retaining wall and fence (including any portions of the retaining wall considered to be a fence) located within the setback shall be measured from the grade of the abutting higher property to that lot line.



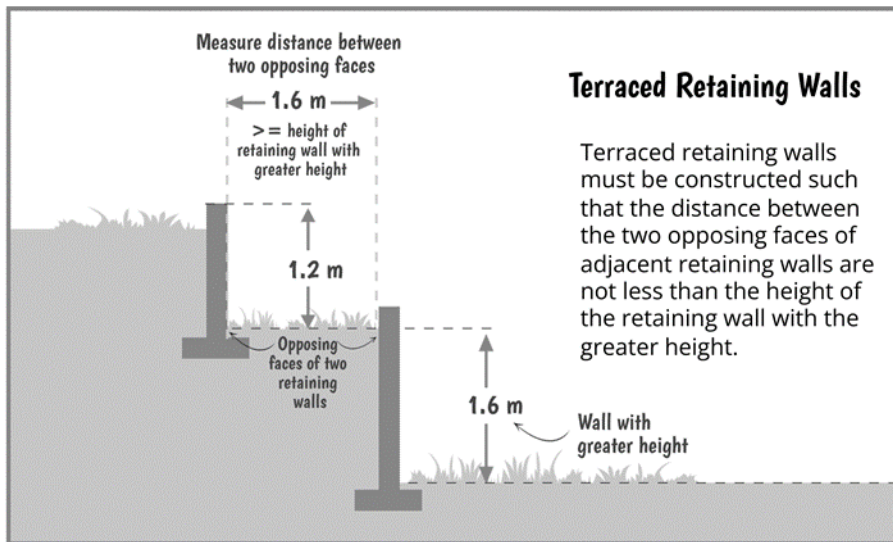
Maximum fence height measurement for an abutting property

- (7) Notwithstanding subsection 37.1 (2) "Measuring Height" and subsection 37.2 (6), where a retaining wall exists on the subject property and is located within 1.2 m of the lot line, the maximum height for a fence located within the setback on the abutting property shall be measured from the top of the retaining wall on the subject property to the top of the fence.



Terraced retaining walls

- (8) Terraced retaining walls must be constructed such that the distance between the two opposing faces of adjacent terraced retaining walls are not less than the height of the retaining wall with the greater height.



The area between the terraced retaining walls

- (9) The backfilled area between terraced retaining walls may include drainage, irrigation, and landscaping, and shall be level and maintained in good condition free of debris, yard waste, graffiti and invasive species.

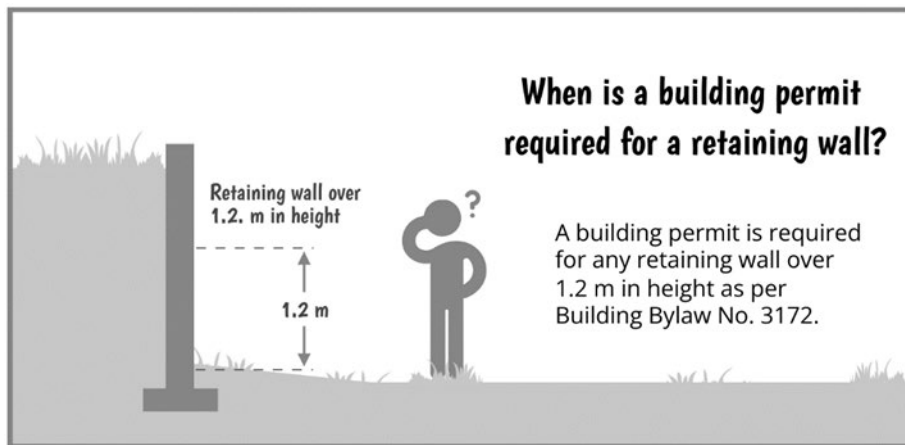
Adding a guardrail onto a retaining wall

- (10) Guardrails up to a maximum height of 1.07 m located on retaining walls are excluded from the overall maximum allowable retaining wall height.

Vision clearance

- (11) Retaining walls are subject to vision clearance provisions of section 36.

- (12) All retaining walls, or any portion thereof, shall be located entirely on the applicable parcel, and shall not be located within any right-of-way, easement or covenant area, except with the express written permission of the right-of-way holder, easement holder, or covenantee, as the case may be.



Swimming Pools

- 38** Swimming pools shall be enclosed in a structure, or shall be enclosed or surrounded by a fence no less than 1.5 m (4.92') and no more than 1.8 m (5.90') in height, designed so that it will not facilitate climbing, and where equipped with gates, be operated by hinges and a lock and be able to be opened freely only from the inside.

Landscaping and Screening

- 39** (1) All lots within the R4, R5, R6, R7, R7-A, and R8 zones when adjacent to any R1, R2, or R3 zone shall provide and maintain a landscape screen which consists of vegetation and a fence. [BL3274]
- (a) Fences must be 2.0 m (6.56') in height except for the distance of the required front yard of the R1, R2, and R3 zones. [BL3150]
 - (b) A horizontal landscaped area of not less than 1.1 m (3.60') in width must be constructed along the entire length of any lot line which abuts any such residentially zoned land.
- (2) All lots within the C1, C2, C3, C4, C6, C7, C8, and C9 zones when adjacent to any residentially zoned land shall provide and maintain a landscape screen which consists of vegetation and a fence.
- (a) Fences must be 2.0 m (6.56') in height.
 - (b) A horizontal landscaped area of not less than 1.1 m (3.60') in width must be constructed along the entire length of any lot line which abuts any such residentially zoned land.
- (3) All lots within the I1, and I2 zones when adjacent to any other zone, arterial highway, or street shall provide and maintain a landscaped screen which consists of vegetation and a fence.
- (a) Fences must be 2.0 m (6.56') in height.
 - (b) A horizontal landscaped area of not less than 6.0 m (19.68') in width must be provided and maintained along the entire length of any lot line which abuts any other zone except the C1, C2, C3, C4, C6, C7, C8, or C9 zone where the horizontal landscaped area shall be 3.0 m (9.84') in width.

Unused Motor Vehicles

- 40** No lot shall be used for auto wrecking unless such use is specifically permitted in that zone and all derelict motor vehicles are shielded from view from any property line.

Shipping Containers

40.1 Shipping containers may be placed on land provided they meet the following requirements:

- (a) within the Industrial Light Zone (I1) a maximum of two shipping containers per site are permitted where used for accessory storage;
- (b) within the Industrial Heavy Zone (I2) a maximum of one shipping container per every 0.4 hectares (1 acre) of land, up to a maximum of 10 shipping containers, is permitted where used for accessory storage;
- (c) where used for accessory storage purposes, placement of a shipping container must meet all accessory building setback requirements, with the exception of shipping containers within the I1 zone, which must either meet the setback requirements for accessory buildings, or be no closer to the front property line than the front wall of any principal building, whichever is greater;
- (d) within the I1 and I2 zones, shipping containers may be used as a building material in the construction of a principal or accessory buildings only if a development permit and building permit have been obtained;
- (e) a container may be used for the temporary storage of tools and materials during the construction or maintenance of any utility, building or structure for which a required building permit has been obtained and remains active, but the container must be removed prior to issuance of an occupancy permit, and
- (f) one container per lot intended for use as an emergency preparedness kiosk shall be permitted in all Private Institutional (PI) and Public Use (PU) zones. [BL3511]

Liquor sales in grocery stores prohibited

40.2 The sale of liquor in grocery stores is prohibited. [BL3651]

Cannabis Production within the BC Agricultural Land Reserve (ALR) [BL3597; BL3741, BL3797]

- 40.3** (1) ALR soil based cannabis production facility is an additional permitted use on all lands within the ALR that are in an Agricultural or Rural zone
- (2) Any cannabis production facility in the ALR must be setback a minimum of:
- (i) 30 m from a watercourse,
 - (ii) 15 m from all property lines,
 - (iii) 30 m from residentially zoned land, where a minimum 15 m buffer is provided on the adjacent residentially zoned land,
 - (iv) 60 m from residentially zoned land, where no minimum 15 m buffer is provided on the adjacent residentially zoned land,
 - (v) 100 m from the urban containment boundary established in the Official Community Plan,
 - (vi) 100 m from the Agricultural Land Reserve boundary, and
 - (vii) 150 m from land dedicated, zoned, or otherwise identified as public parkland, Public Use (PU) Zone, or Public Conservation (PC) Zone.

Secondary Suites and Detached Accessory Dwelling Units

- 40.4** (1) A secondary suite must have:
- (a) no more than 2 bedrooms, and
 - (b) driveway access that is shared with the access to the single-family dwelling, unless the lot fronts two streets or a lane, in which case a secondary suite may have a separate access onto the second street or lane. [BL3674]
- (2) The maximum size for a detached accessory dwelling unit is 120 m² (1,292 sq. ft.) of gross floor area.
- (3) The maximum size for an accessory building that contains a dwelling unit is 120 m² (1,292 sq. ft.)

of gross floor area.

- (4) The maximum height for a detached accessory dwelling unit is 6.5 m (21.33'), or up to 7.5 m (24.61') where the building has a pitched roof with a minimum pitch of 6:12.
- (5) If any portions of an accessory building containing a dwelling unit are higher than 5.0 m, the following setbacks apply to those portions of the building:
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 3.0 m (9.84')
 - Yard, Rear, when adjacent to a lane 1.5 m (4.92')For clarity, the accessory building setbacks identified in the zone apply to any portion of the building that are 5.0 m (16.40') in height or less.
- (6) For walls and roofs of a detached accessory dwelling unit that are above the ground storey and facing a neighbouring lot, transparent surfaces must not exceed the greater of:
 - (a) 1.0 m² (11 sq. ft.), or
 - (b) 20% of the total wall or roof area.
- (7) Excluding ground storey decks and balconies, decks and balconies on detached accessory dwelling units may not exceed 2.0 m in depth and must face the interior of the lot, a road, lane, municipal park, or other publicly accessible space, rather than facing a neighbouring lot.
- (8) A detached accessory dwelling unit must be provided with exterior at-grade amenity space that is:
 - (a) accessible from the entry of the dwelling unit, and
 - (b) not less than 18.5 m (199.13 sq. ft) in area and 3.0 m (9.84 ft) in width.

Cannabis Sales Prohibited

- 40.5** The sale, distribution or trade of cannabis and its derivatives is prohibited in all zones, except for distribution by an approved cannabis production facility in accordance with the terms and conditions of its licence under section 8 (1) of the *Cannabis Regulations*. [BL3688; BL3741]
- 40.6** Despite section 40.5, one cannabis retail store is permitted at 2951 Green Road (PID: 027-506-444). [BL3752]
- 40.7** Despite section 40.5, one cannabis retail store is permitted at 8432 Trans-Canada Highway (PID: 001-305-310) [BL3763]
- 40.8** Despite section 40.5, one cannabis retail store is permitted at 9750 Chemainus Road (PID: 001-675-516) [BL3776]
- 40.9** Despite section 40.5, one cannabis retail store is permitted at 9568 Chemainus Road (PID: 025-199-919) [BL3782]
- 40.10** Despite section 40.5, one cannabis retail store is permitted at 3288 Cowichan Lake Road (PID: 030-911-842) [BL3878]

Private Aircraft Landing Strips

- 41** No property in any zone, other than the Industrial Heavy Zone (I2) shall be used for a private aircraft landing strip, helicopter pad, or aerodrome without receiving the prior approval of Council.

Accessory Uses

- 42** Accessory uses must be conducted on the same lot as the principal use to which it is connected.

PART 5 – ZONES

Division (1) – Establishment of Zones

Zones

- 43** For the purposes of this Bylaw, the lands within the corporate limits of the District are hereby classified and divided into the following zones:
- Agricultural Zone (A1)
 - Rural Zone (A2)
 - Rural Restricted Zone (A3)
 - Rural Resources Zone (A4)
 - Rural Residential Zone (A5)
 - Rural Market Zone (A6) [BL3846]
 - Residential Rural Zone (R1)
 - Urban Residential Rural Zone (R1-U)
 - Residential Restricted Zone (R2)
 - Rural Residential Restricted Zone (R2-R)
 - Residential One and Two-Family Zone (R3)
 - Rural Residential One and Two-Family Zone (R3-R)
 - Residential Small Lot Single-Family Zone (R3-S)
 - Residential Medium Density Multi-Family Zone (R3-MF)
 - Residential Small Lot Mobile Home Zone (R4)
 - Residential Mobile Home Park Zone (R5)
 - Residential Townhouse Zone (R6)
 - Residential Multi-Family Zone (R7)
 - Residential Ground-Oriented Multi-Family Zone (R7-A)
 - Residential Multi-Family Apartment Zone (R8)
 - Private Residence Water Lot Zone (W1)
 - Light Commercial Water Lot Zone (W2)
 - Mixed Use Commercial Water Lot Zone (W3)
 - Upland Tourist Commercial Marine Zone (MA1)
 - Upland Tourist Commercial/Residential Marine Zone (MA2)
 - Commercial Local Zone (C1)
 - Commercial General Zone (C2)
 - Commercial Service Zone (C3)
 - Commercial Recreation Zone (C4)
 - Commercial Professional Zone (C6)
 - Commercial Rural Hospitality Zone (C7)
 - Commercial Rural Recreation Zone (C8)
 - Chemainus Commercial Zone (C9)
 - Industrial Light Zone (I1)
 - Industrial Heavy Zone (I2)
 - Private Institutional Zone (PI)
 - Public Use Zone (PU)
 - Public Conservation Zone (PC)
 - The Cliffs Comprehensive Development Zone (CD1)
 - Chemainus Quay Comprehensive Development Zone (CD2)
 - Comprehensive Development Zone - Mixed Family Zone (CD4)
 - Chemainus Artisan Village Comprehensive Development Zone (CD6)
 - Stonehill Comprehensive Development Zone (CD7)
 - Maple Bay School Site Comprehensive Development Zone (CD8)
 - Multi-Family Comprehensive Development Zone (CD9)
 - Urban Medium Density Comprehensive Development Zone (CD10)
 - Community Services (Health Care) Comprehensive Development Zone (CD11)
 - Residential Two-Family Comprehensive Development Zone (CD12)
 - Ground-Oriented Urban Residential Comprehensive Development Zone (CD13)

University Village Mid-Rise Residential Comprehensive Development Zone (CD14)
Mixed Use Residential Zone (CD15)
Mixed Use Commercial Core Zone (CD16)
Congregate Housing Comprehensive Development Zone (CD17)
Kingsview Comprehensive Development Zone (CD18)
Rural Kingsview Comprehensive Development Zone (CD18-R)
University Village Mixed Commercial / Residential Comprehensive Development Zone (CD19)
The Commons Comprehensive Development Zone (CD20)
Motorsport Circuit Comprehensive Development Zone (CD21)
Paddle Road North Comprehensive Development Zone (CD22)
Ford Road South Comprehensive Development Zone (CD23)
Village Residential Infill Comprehensive Development Zone (CD24)
Gilana Place Two-Family Detached Comprehensive Development Zone (CD25)
[BL3240, BL3242, BL3276, BL3333, BL3359, BL3360, BL3417, BL3426, BL3452, BL3495, BL3562, BL3614, BL3618, BL3619, BL3622, BL3631, BL3645, BL3646, BL3656, BL3667, BL3706; BL3716, BL3761, BL3867 BL3868, BL3920]

44 The suffix “a” or “b” attached to a zone designation denotes a special sub-zone where additional uses are permitted, subject to the regulations of the zone to which the suffix is applied. [BL2974]

Zoning Map

45 The location and extent of each zone established by this Bylaw is shown on the “Zoning Map” marked Schedule “C”, attached hereto and made part of this Bylaw. [Schedule “C” available separately]

Zone Boundaries

- 46** (1) Where a zone boundary is shown on the zoning map as following a road allowance or a watercourse, the centre line of such road allowance or creek shall be the zone boundary.
- (2) Where a zone boundary does not follow a legally defined line, and where distances are not specifically indicated, the location of such boundary shall be determined by the use of a scale ruler on the Zoning Map.
- (3) Where land that originally formed part of a highway is consolidated with a lot, such land shall be deemed to have the same zone designation as the lot.

Minimum Lot Area Exemptions

47 Lot area requirements and zoning restrictions do not apply to an unattended public utility use or a lot created for such use. In this context, “unattended” shall mean that there is no attendant or employee present on the lot.

Permitted in all Zones

48 The following are permitted in all zones:

- (1) Accessory Buildings;
- (2) Civic Use;
- (3) Public Utility Use;
- (4) Repealed [BL3758]
- (5) Community Care Facility for
 - (a) a day care for no more than 8 persons, or
 - (b) a residence for no more than 10 persons, not more than 6 of whom are persons in care, and licensed pursuant to the *Community Care and Assisted Living Act*, and its amendments. [BL3302]

48.1 (1) The keeping of farm animals and poultry is permitted on a lot greater than 8000 m² (1.98 ac) in area.

- (2) The keeping of farm animals and poultry is not permitted on a lot less than 8000 m² (1.98 ac) in area, except as follows:
 - (a) on a lot greater than 1675 m² (0.41 ac) in area but less than 4000 m² (0.99 ac) in area, a total of not more than 12 rabbits or poultry;
 - (b) on a lot equal to or greater than 4000 m² (0.99 ac) in area but less than 8000 m² (1.98 ac) in area, a total of not more than 12 rabbits or poultry and a total of not more than 2 farm animals.
- (3) Any structure to house farm animals, or poultry must be set back at least 15 m from any lot line.
- (4) Any structure used for the storage of manure must be set back at least 15 m from any lot line.
- (5) Notwithstanding the foregoing, where the minimum setback requirements from all lot boundaries of the zone in which the structure is located are greater than 15 m, the greater setback requirements apply. [BL3758]

Measurement Conversion

- 49** Where there is disparity between a metric measurement and its imperial equivalent, the metric measurement shall take precedence.

Zone Abbreviations

- 50** Where zone abbreviations are used within the text of this Bylaw, they shall be read in the same manner as the full textual name of the zone would be read.

Division (2) - Zones
Agricultural Zone (A1)

Permitted Uses

- 51** (1) The permitted uses for the A1 zone are as follows:
- Agricultural Exhibition and Fairground
 - Agriculture
 - Agricultural Storage
 - Assisted Living
 - Bed and Breakfast
 - Craft Distillery
 - Community Care Facility
 - Feedlot
 - Forestry Use
 - Fur Farm
 - Greenhouse
 - Home-based Business
 - Kennel
 - Large Animal Hospital
 - Manufactured Home
 - Mushroom Farm
 - Piggery
 - Poultry Farm
 - Riding Stable
 - Single-Family Dwelling
 - Slaughterhouse
 - Supportive Housing
 - Temporary Mobile Home (subject to the Temporary Mobile Home Permit Bylaw) [BL3754]
 - Two-Family Dwelling. [BL3302, 3356, 3457, 3520]

Minimum Lot Size

- (2) The minimum permitted lot size for the A1 zone is 12 hectares (29.65 acres).
- (2.1) Despite subsection (2), the minimum permitted lot size for Lot 1, Section 5, Range 2, Somenos District, Plan VIP63560 on North Road (PID: 023-483-539) is 9.0 hectares (22.2 acres). [BL3515]

Minimum Frontage

- (3) The minimum permitted frontage for the A1 zone is 180.0 m (590.55').

Density

- (4) The maximum permitted density for the A1 zone is as follows:
- (a) The number of dwelling units shall not exceed two.
 - (b) The number of residential buildings per lot shall not exceed one.
 - (i) Despite the foregoing, where land is two hectares (4.94 acres) or larger in area, a total combined maximum of two dwelling units within a maximum of two residential buildings is permitted, where the smaller residential building shall be accessory to the principal dwelling and contain a dwelling unit not exceeding 90m² of gross floor area.
 - (ii) Despite the gross floor area maximum of 90m² in part (i) above, in the case of replacing a previously-existing dwelling legally authorized by the Municipality prior to September 21, 2022 the smaller residential dwelling may not exceed either 90m² or the gross floor area of the previously-existing dwelling, whichever

is the greater.

- (c) No accessory dwelling (other than a suite integral to a principal dwelling) nor a two-family dwelling shall be located on a parcel unless the owner of such parcel has, prior to the issuance of a building permit by the Municipality, registered a covenant under Section 219 of the *Land Title Act*: prohibiting registration of a strata plan under the *Strata Property Act*.
- (d) Despite section 51(4)(b) above, a covenant is not required where the accessory dwelling or two-family dwelling were legally authorized by the Municipality prior to September 21, 2022, or where a building strata already exists.
- (e) Despite section 51(4)(b) above, a covenant is not required where the accessory dwelling or two-family dwelling were legally authorized by the Municipality prior to September 21, 2022.
- (f) Despite section 51(4)(a) above, a maximum of two residential buildings with a total combined maximum density of two dwelling units is permitted on the following properties:
 - (i) 8662 8664 Trans-Canada Highway (PID 027-341-640)
[BL3876]

Maximum Lot Coverage

- (5) The maximum permitted lot coverage for the A1 zone is 10 % of the lot area.

Minimum Setbacks

- (6) The minimum permitted setbacks for the A1 zone are as follows:
 - (a) Single-Family Dwellings and Two-Family Dwellings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Mobile Homes
 - Yard, Front, 30.0 m (98.42')
 - Yard, Side, 12.0 m (39.37')
 - Yard, Rear, 12.0 m (39.37')
 - (c) Slaughterhouses
 - Yard, Front, 92.0 m (301.84')
 - Yard, Side, 92.0 m (301.84')
 - Yard, Rear, 92.0 m (301.84')
 - (d) All Other Principal Buildings
 - Yard, Front, 25 m (82.02')
 - Yard, Side, 15 m (49.21')
 - Yard, Rear, 15 m (49.21)''
 - Yard, Abutting Residentially Zoned Property, 30 m (98.42') [BL3767]
 - (e) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 8.0 m (26.25')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 8.0 m (26.25')
 - (f) Temporary Mobile Homes
 - To be sited in accordance with the provisions of the Temporary Mobile Home Permit Bylaw. [BL3754]
 - (g) Kennel
 - Yard, Front, 46 m (150.91')
 - Yard, Side, 46 m (150.91')
 - Yard, Rear, 46 m (150.91') [BL3758]

Maximum Building Height

- (7) (a) The maximum permitted building height for buildings, containing one or more dwelling units, within the A1 zone is 9 m (29.53').
- (b) Despite the foregoing, the heights of other farm buildings are subject to the provisions of the Associate Committee on the National Building Code (ACNBC) Farm Building Code 1995.

Conditions of Use

- (8) The conditions of use for the A1 zone are as follows:
 - (a) Bed and breakfast uses may have no more than six sleeping units and may be conducted in a maximum of one accessory building (with no kitchen) and/or one dwelling unit. [BL3323]
 - (b) Limited farm sale of agricultural products may be sold directly to the public provided that:
 - (i) a minimum of 50% of the agricultural products offered for sale are produced on the land;
 - (ii) the covered retail sales area does not exceed 100 m² (1076.4 sq. ft.); and
 - (iii) the retail sales are clearly ancillary to the farm use. [BL3083]
 - (c) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted provided that
 - (i) the number of residents does not exceed ten, including resident staff,
 - (ii) the use is within a single-family dwelling unit only, which for clarity does not include a two-family dwelling,
 - (iii) approval from the Agricultural Land Commission is obtained, where the property is within the Agricultural Land Reserve,
 - (iv) valid health permits for septic systems or on-site wastewater treatment systems are obtained, and
 - (v) each single-family dwelling unit may contain this use where the property is two hectares (4.94 acres) or greater and has two single-family dwelling units.
 - (d) Without limiting the generality of the definition, and for clarity, agricultural exhibition and fairground may include the following activities:
 - (i) sales and auctions of livestock, farm equipment, home craft and farm products;
 - (ii) ancillary concessions;
 - (iii) ancillary indoor and outdoor recreational activities;
 - (iv) temporary outdoor concerts, midways, and amusements for up to 40 days per year; and
 - (v) temporary camping and recreational vehicle parking related to a sanctioned event up to 60 days per year.
 - (e) Craft Distillery may be permitted provided that approval from the Agricultural Land Commission is obtained where the property is located within the Agricultural Land Reserve.
 - (f) A maximum of 30 gatherings for an event with up to 150 attendees, including the use of a cookhouse and two short-term accommodations for the events, are permitted per year on 5881 Genoa Bay Road. [BL3083, BL3302, BL3323, BL3356, BL3520, BL3682]
 - (g) A kennel must not be located on a lot less than 8000 m² (1.98 acres) in area. [BL3758]

Rural Zone (A2)

Permitted Uses

- 52 (1) The permitted uses for the A2 zone are as follows:
- Agriculture
 - Agricultural Storage
 - Animal Shelter (subject to the Conditions of Use set out in Section 52(8)(h) and (i)) [BL3927]
 - Assisted Living
 - Bed and Breakfast
 - Community Care Facility
 - Craft Distillery
 - Forestry Use
 - Greenhouse
 - Home-based Business
 - Kennel
 - Manufactured Home
 - Riding Stable
 - Single-Family Dwelling
 - Supportive Housing
 - Temporary Mobile Home (subject to the Temporary Mobile Home Permit Bylaw). [BL3754]
 - Two-Family Dwelling [BL3302, BL3457, BL3520]

Minimum Lot Size

- (2) The minimum permitted lot size for the A2 zone is 2 hectares (4.94 acres).

Minimum Frontage

- (3) The minimum permitted frontage for the A2 zone is 75.0 m (246.06').

Density

- (4) The maximum permitted density for the A2 zone is as follows:
- (a) The number of dwelling units per lot shall not exceed two.
 - (b) The number of residential buildings per lot shall not exceed one.
 - (i) Despite the foregoing, where land is two hectares (4.94 acres) or larger in area, a total combined maximum of two dwelling units within a maximum of two residential buildings is permitted, where the smaller residential building shall be accessory to the principal dwelling and contain a dwelling unit not exceeding 90m² of gross floor area.
 - (ii) Despite the gross floor area maximum of 90m² in part (i) above, in the case of replacing a previously-existing dwelling legally authorized by the Municipality prior to September 21, 2022 the smaller residential dwelling may not exceed either 90m² or the gross floor area of the previously-existing dwelling, whichever is the greater.
 - (c) No accessory dwelling (other than a suite integral to a principal dwelling) nor a two-family dwelling shall be located on a parcel unless the owner of such parcel has, prior to the issuance of a building permit by the Municipality, registered a covenant under Section 219 of the *Land Title Act*: prohibiting registration of a strata plan under the *Strata Property Act*.
 - (d) Despite section 52(4)(b) above, a covenant is not required where the accessory dwelling or two-family dwelling were legally authorized by the Municipality prior to September 21, 2022, or where a building strata already exists.
 - (e) Despite section 52(4)(b) above, a covenant is not required where the accessory dwelling or two-family dwelling were legally authorized by the Municipality prior to September 21,

- 2022.
- (f) Despite section 52(4)(a) above, a maximum of two residential buildings with a total combined maximum of three dwelling units is permitted on 941 Arbutus Avenue (PID 000-232-556).
 - (g) Despite section 52(4)(a) above, a maximum of two residential buildings with a total combined maximum density of two dwelling units is permitted on the following properties:
 - (i) 3252 Gibbins Road (PID 006-360-378);
 - (ii) 3286 Gibbins Road (PID 004-555-562);
 - (iii) 3276 Gibbins Road (PID 002-343-789);
 - (iv) 3240 Gibbins Road (PID 002-742-501);
 - (v) Lot 1..., Plan 21749, Banks Road (PID 002-705-087);
 - (vi) B-3228 Gibbins Road (PID 001-252-267);
 - (vii) Lot 4..., Plan 8636, Cliffs Road (PID 005-586-429);
 - (viii) 3088 Cliffs Road (PID 005-586-445);
 - (ix) Lot 5..., Plan 8636, Cliffs Road (PID 005-586-437);
 - (x) Part of Lot 11..., Plan 2785, Banks Road (PID 006-360-742);
 - (xi) Part of Lot 1..., Plan 9537 (PID 005-338-859);
 - (xii) A-3228 Gibbins Road (PID 000-041-874);
 - (xiii) repealed;
 - (xiv) 3246 Gibbins Road (PID 028-738-080);
 - (xv) Lot A..., Plan 10506 (PID 005-267-412);
 - (xvi) 3186 Gibbins Road (PID 005-409-292).
 - (xvii) 2772 Herd Road (PID: 002-831-732)
 - (xviii) 1379 Maple Bay Road (PID 004 893 409)
 - (xix) 7167 Bell McKinnon Road (PID 005-465-621)
 - (xx) 3833 Gibbins Road (PID: 006-570-208)
- [BL3287, BL3754, BL3697, BL3757, BL3819, BL3822, BL3871, BL3876, BL3883.]
- (h) Despite section 52(4)(a) above, a maximum of two residential buildings with a total combined maximum of two dwelling units, the smaller of which must not exceed 170m², is permitted on the following properties:
 - (i) 7475 Bell McKinnon Road (PID 009-785-965)

Maximum Lot Coverage

- (5) The maximum permitted lot coverage for the A2 zone is 10% of the lot area.

Minimum Setbacks

- (6) The minimum permitted setbacks for the A2 zone are as follows:
 - (a) Single-Family Dwellings and Two-Family Dwellings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Mobile Homes
 - Yard, Front, 30.0 m (98.42')
 - Yard, Side, 12.0 m (39.37')
 - Yard, Rear, 12.0 m (39.37')
 - (c) All Other Principal Buildings
 - Yard, Front, 25 m (82.02')
 - Yard, Side, 15 m (49.21')
 - Yard, Rear, 15 m (49.21)'.
 - Yard, Abutting Residentially Zoned Property, 30 m (98.42') [BL3767]
 - (d) Accessory Buildings and Structures (Excluding Fences)

- Yard, Front, 8.0 m (26.25')
- Yard, Side, 3.0 m (9.84')
- Yard, Rear, 8.0 m (26.25')
- (e) Temporary Mobile Homes
To be sited in accordance with the provisions of the Temporary Mobile Home Permit Bylaw. [BL3754]
- (f) Kennel
Yard, Front, 30 m (98.43')
- Yard, Side, 30 m (98.43')
- Yard, Rear, 30 m (98.43') [BL3758]
- (i) Animal Shelter
Yard, Front, 20.0 m (65.62')
- Yard, Side, 20.0 m (65.62')
- Yard, Rear, 20.0 m (65.62') [BL3927]

Maximum Building Height

- (7) (a) The maximum permitted building height for buildings, containing one or more dwelling units, within the A2 zone is 9.0 m (29.53').
- (b) Despite the foregoing, the height of other farm buildings is subject to the provisions of the ACNBC Farm Building Code 1995.

Conditions of Use

- (8) The conditions of use for the A2 zone are as follows:
 - (a) Bed and breakfast uses may have no more than six sleeping units and may be conducted in a maximum of one accessory building (with no kitchen) and/or one dwelling unit.
 - (b) Limited farm sale of agricultural products may be sold directly to the public provided that:
 - (i) a minimum of 50% of the agricultural products offered for sale are produced on the land;
 - (ii) the covered retail sales area does not exceed 100 m² (1076.4 sq. ft.); and
 - (iii) the retail sales are clearly ancillary to the farm use.
 - (c) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted provided that
 - (i) the number of residents does not exceed ten, including resident staff,
 - (ii) the use is within a single-family dwelling unit only, which for clarity does not include a two-family dwelling,
 - (iii) approval from the Agricultural Land Commission is obtained, where the property is within the Agricultural Land Reserve,
 - (iv) valid health permits for septic systems or on-site wastewater treatment systems are obtained, and
 - (v) each single-family dwelling unit may contain this use where the property is two hectares (4.94 acres) or greater and has two single-family dwelling units.
 - (d) despite section 52 (1), "campground (seasonal)" is a permitted use on 3042 River Road, and "campground (short-term)" is a permitted use on 8701 Chemainus Road, 8682 and 9090 Trans-Canada Highway, and 3800 Gibbins Road for a maximum of 25 campsites during a gathering for an event. [BL3662]
 - (e) [Repealed; BL3697].
 - (f) a maximum of 14 gatherings for an event with up to 150 attendees, and 20 events with up to 20 attendees, are permitted per year on 3800 Gibbins Road.
[BL3083, BL3302, BL3323, BL3521, BL3554, BL3662]
 - (g) A kennel must not be located on a lot less than 8000 m² (1.98 acres) in area. [BL3758]
 - (h) An "Animal Shelter" is a site-specific permitted use on 7550 Bell McKinnon Road exclusively. [BL3927]

- (i) Despite section 52(6)(g), the minimum permitted setback for outdoor animal enclosures (e.g., runs, pens, cages) is 30.0 m (98.43') from residentially zoned properties. [BL3927]

Rural Restricted Zone (A3)

Permitted Uses

- 53 (1) The permitted uses for the A3 zone are as follows:
- Agriculture
 - Agricultural Storage
 - Assisted Living
 - Bed and Breakfast
 - Community Care Facility
 - Greenhouse
 - Home-based Business
 - Modular Home
 - Single-Family Dwelling
 - Supportive Housing
 - Temporary Mobile Home (subject to the Temporary Mobile Home Permit Bylaw) [BL3754]
 - Two-Family Dwelling [BL3302, BL3367]

Minimum Lot Size

- (2) The minimum permitted lot size for the A3 zone is 8,000 m² (1.98 acres).

Minimum Frontage

- (3) The minimum permitted frontage for the A3 zone is 60.0 m (196.85').

Density

- (4) The maximum permitted density for the A3 zone is as follows:
- (a) The number of dwelling units per lot shall not exceed two.
 - (b) The number of residential buildings per lot shall not exceed one.
 - (i) Despite the foregoing, where land is two hectares (4.94 acres) or larger in area, a total combined maximum of two dwelling units within a maximum of two residential buildings is permitted, where the smaller residential building shall be accessory to the principal dwelling and contain a dwelling unit not exceeding 90m² of gross floor area.
 - (ii) Despite the gross floor area maximum of 90m² in part (i) above, in the case of replacing a previously-existing dwelling legally authorized by the Municipality prior to September 21, 2022 the smaller residential dwelling may not exceed either 90m² or the gross floor area of the previously-existing dwelling, whichever is the greater.
 - (iii) Despite the foregoing, the placement of a Temporary Mobile Home may also be permitted, subject to the Temporary Mobile Home Permit Bylaw.
 - (b) No accessory dwelling (other than a suite integral to a principal dwelling) nor a two-family dwelling shall be located on a parcel unless the owner of such parcel has, prior to the issuance of a building permit by the Municipality, registered a covenant under Section 219 of the *Land Title Act*: prohibiting registration of a strata plan under the *Strata Property Act*.
 - (c) Despite section 53(4)(b) above, a covenant is not required where the accessory dwelling or two-family dwelling were legally authorized by the Municipality prior to September 21, 2022, or where a building strata already exists.
 - (d) Despite section 53(4)(b) above, a covenant is not required where the accessory dwelling or two-family dwelling were legally authorized by the Municipality prior to September 21, 2022 or where a Temporary Mobile Home is permitted under section 53(4)(a)(ii)
 - (e) Despite section 53(4)(a) above, a total combined maximum of two dwelling units within a

maximum of two residential buildings is permitted on the following properties:

- (i) 5404 Gore Langton Road (PID: 005-177-740)
 - (ii) 3368 Henry Road (PID: 006-660-819)
 - (iii) 3788 Winget Place (PID: 018-498-451)
 - (iv) 5353 Gore Langton Road (PID: 004-756-517)
 - (v) 3248 Gibbins Road (PID: 028-738-071)
 - (vi) 3325 Henry Road (PID: 023-516-305)
 - (vii) 934 Khenipsen Road (PID: 027-581-578)
 - (viii) 7325 Osborne Bay Road (PID: 002-735-300)
 - (ix) 3331 Henry Road (PID: 000-042-986)
- (f) Despite section 53(4)(a) above, a total combined maximum of two dwelling units within a maximum of two residential buildings is permitted on 4011 Cambrai Road (PID: 016-212-169) provided that one of the residential buildings does not exceed 145 m² (1,560 sq. ft.) in gross floor area.
- (g) Despite section 53(4)(a) above, a total combined maximum of two dwelling units within a maximum of two residential buildings is permitted at 7245 Bell McKinnon Road (PID: 011-879-645), where the smaller residential building shall be accessory to the principal dwelling and contain a dwelling unit not exceeding 92m² of habitable floor area.
- [BL3644, BL3680, BL3692, BL3703, BL3754, BL3757, BL3811, BL3798, BL3876, BL3909, BL3912]

Maximum Lot Coverage

- (5) The maximum permitted lot coverage of the A3 zone is 30% of the lot area.

Minimum Setbacks

- (6) The minimum permitted setbacks for the A3 zone are as follows:
- (a) Single-Family Dwellings and Two-Family Dwellings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 8.0 m (26.25')
 - (b) All Other Principal Buildings
 - Yard, Front, 25 m (82.02')
 - Yard, Side, 15 m (49.21')
 - Yard, Rear, 15 m (49.21') [BL3767]
 - (c) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 8.0 m (26.25')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 8.0 m (26.25')
 - (d) Temporary Mobile Homes
 - To be sited in accordance with the provisions of the Temporary Mobile Home Permit Bylaw. [BL3754]

Maximum Building Height

- (7) (a) The maximum permitted building height for buildings, containing one or more dwelling units, within the A3 zone is 9 m (29.53').
- (b) Despite the foregoing, the heights of other farm buildings are subject to the provisions of the ACNBC Farm Building Code 1995.

Conditions of Use

- (8) The conditions of use for the A3 zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]

- (d) Bed and breakfast uses may have no more than six sleeping units.
- (e) Limited farm sale of agricultural products may be sold directly to the public provided that:
 - (i) minimum of 50% of the agricultural products offered for sale are produced on the land;
 - (ii) the covered retail sales area does not exceed 100 m² (1076.4 sq. ft.); and
 - (iii) the retail sales are clearly ancillary to the farm use. [BL3083]
- (f) [Repealed. BL3367]
- (g) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted provided that
 - (i) the number of residents does not exceed ten, including resident staff,
 - (ii) the use is within a single-family dwelling unit only, which for clarity does not include a two-family dwelling,
 - (iii) approval from the Agricultural Land Commission is obtained, where the property is within the Agricultural Land Reserve, and
 - (iv) valid health permits for septic systems or on-site wastewater treatment systems are obtained. [BL3302]

Rural Resources Zone (A4)

Permitted Uses

- 54 (1) The permitted uses for the A4 zone are as follows:
- Forestry Use
 - Manufactured Home
 - Mobile Food Service
 - Resource Use
 - Secondary Suite
 - Single-Family Dwelling
 - Temporary Mobile Home (subject to the Temporary Mobile Home Permit Bylaw). [BL3754]
 - Wilderness Recreation
 - Wildlife Refuge [BL3150, [BL3657]

Minimum Lot Size

- (2) The minimum permitted lot size for the A4 zone is 12.0 hectares (29.65 acres).

Minimum Frontage

- (3) The minimum permitted frontage for the A4 zone is 180.0 m (590.55').

Density

- (4) The maximum permitted density for the A4 zone is as follows:
- (a) The number of dwelling units per lot shall not exceed two.
 - (b) The number of residential buildings per lot shall not exceed one.

Maximum Lot Coverage

- (5) The maximum permitted lot coverage of the A4 zone is 10% of the lot area.

Minimum Setbacks

- (6) The minimum permitted setbacks for the A4 zone are as follows:
- (a) All Buildings and Structures (Excluding Fences)
 - Yard, Front, 46.0 m (150.91')
 - Yard, Side, 46.0 m (150.91')
 - Yard, Rear, 46.0 m (150.91')
 - (b) Temporary Mobile Homes
 - To be sited in accordance with the provisions of the Temporary Mobile Home Permit Bylaw. [BL3754]

Maximum Building Height

- (7) (a) The maximum permitted building height for buildings, containing one or more dwelling units, within the A4 zone is 9.0 m (29.53').
- (b) Despite the foregoing, the heights of other farm buildings are subject to the provisions of the ACNBC Farm Building Code 1995.

Rural Residential Zone (A5)

Permitted Uses

- 55 (1) The permitted uses for the A5 zone are as follows:
- Assisted Living
 - Bed and Breakfast
 - Community Care Facility
 - Home-based Business
 - Modular Home
 - Single-Family Dwelling
 - Supportive Housing
 - Temporary Mobile Home (subject to the Temporary Mobile Home Permit Bylaw)
 - Two-Family Dwelling [BL3302, BL3367, BL3681, BL3754]

Minimum Lot Size

- (2) The minimum permitted lot size for the A5 zone is 4,000 m² (.988 acres).

Minimum Frontage

- (3) The minimum permitted frontage for the A5 zone is 45.0 m (147.63').

Density

- (4) The maximum permitted density for the A5 zone is as follows:
- (c) The number of dwelling units per lot shall not exceed two.
 - (d) The number of residential buildings per lot shall not exceed one.
 - (i) Despite the foregoing, where land is two hectares (4.94 acres) or larger in area, a total combined maximum of two dwelling units within a maximum of two residential buildings is permitted, where the smaller residential building shall be accessory to the principal dwelling and contain a dwelling unit not exceeding 90m² of gross floor area.
 - (ii) Despite the gross floor area maximum of 90m² in part (i) above, in the case of replacing a previously-existing dwelling legally authorized by the Municipality prior to September 21, 2022 the smaller residential dwelling may not exceed either 90m² or the gross floor area of the previously-existing dwelling, whichever is the greater.
 - (b) No accessory dwelling (other than a suite integral to a principal dwelling) nor a two-family dwelling shall be located on a parcel unless the owner of such parcel has, prior to the issuance of a building permit by the Municipality, registered a covenant under Section 219 of the *Land Title Act*: prohibiting registration of a strata plan under the *Strata Property Act*.
 - (c) Despite section 55(4)(b) above, a covenant is not required where the accessory dwelling or two-family dwelling were legally authorized by the Municipality prior to September 21, 2022, or where a building strata already exists.
 - (d) Despite section 55(4)(b) above, a covenant is not required where the accessory dwelling or two-family dwelling were legally authorized by the Municipality prior to September 21, 2022.
 - (e) Despite section 55(4)(a) above, the placement of a Temporary Mobile Home may also be permitted on lots 0.81 ha (two acres), or larger, subject to the Temporary Mobile Home Permit Bylaw.
 - (f) Despite section 55(4)(a) above, a maximum of two residential buildings is permitted on property located at 6360 Lakes Road, and 6722 Lakes Road if:
 - (i) the principal residential building is a single-family dwelling, and

- (ii) the second dwelling unit is no larger than 85 m² (915 sq. ft.) or 40% of the gross floor area of the principal residential building, whichever is less.
- (g) Despite section 55(4)(a)(i) above, a total combined maximum of two dwelling units within a maximum of two residential buildings is permitted on the following properties:
 - (i) 3543 Auchinachie Road (PID: 004-574-176
[BL3489, BL3681, BL3754, BL3876, BL3908])

Maximum Lot Coverage

- (5) The maximum permitted lot coverage for the A5 zone is 30 percent of the lot area.

Minimum Setbacks

- (6) The minimum permitted setbacks for the A5 zone are as follows:
 - (a) Principal Buildings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 3.0 m (9.84')
 - (c) Temporary Mobile Homes
 - To be sited in accordance with the provisions of the Temporary Mobile Home Permit Bylaw. [BL3083, BL3150, BL3754]

Maximum Building Height

- (7)
 - (a) The maximum permitted building height for buildings, containing one or more dwelling units, within the A5 zone is 9.0 m (29.53').
 - (b) The maximum permitted building height for accessory buildings within the A5 zone is 5.0 m (16.40').

Conditions of Use

- (8) The conditions of use for the A5 zone are as follows:
 - (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) Bed and breakfast uses may have no more than six sleeping units.
 - (e) [Repealed. BL3367]
 - (f) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted provided that
 - (i) the number of residents does not exceed ten, including resident staff,
 - (ii) the use is within a single-family dwelling unit only, which for clarity does not include a two-family dwelling,
 - (iii) approval from the Agricultural Land Commission is obtained, where the property is within the Agricultural Land Reserve,
 - (iv) valid health permits for septic systems or on-site wastewater treatment systems are obtained. [BL3302]

Rural Market Zone (A6) [BL3846]

Permitted Uses

- 55.1 (1) The permitted uses for the A6 zone are as follows:
- Agriculture
 - Agricultural Storage
 - Food and beverage processing
 - Food truck
 - Greenhouse
 - Market Community Space

Minimum Lot Size

- (2) The minimum permitted lot size for the A6 zone is 2 hectares (4.94 acres).

Minimum Frontage

- (3) The minimum permitted frontage for the A6 zone is 75.0 m (246.06').

Maximum Lot Coverage

- (4) The maximum permitted lot coverage for the A6 zone is 10% of the lot area.

Minimum Setbacks

- (5) The permitted setbacks for the A6 zone are as follows:
- (a) All Principal Buildings and Structures (Excluding Fences)
 - (i) Yard, Front, 8.0 m (26.25')
 - (ii) Yard, Side, 3.0 m (9.84')
 - (iii) Yard, Rear, 8.0 m (26.25')

Maximum Building Height

- (6) (a) The maximum permitted building height for buildings and structures within the A6 zone is 9.0 m (29.53').

Conditions of Use

- (7) The conditions of use for the A6 zone are as follows:
- (a) Limited farm sale of agricultural products may be sold directly to the public provided that:
 - (i) a minimum of 50% of the agricultural products offered for sale are produced on the land;
 - (ii) the covered retail sales area does not exceed 100 m² (1076.4 sq. ft.);
 - (iii) the retail sales are clearly ancillary to the farm use; and
 - (iv) approval from the Agricultural Land Commission is obtained, where the property is within the Agricultural Land Reserve.
 - (b) Despite the definition of "food and beverage processing" under section 12, "restaurant" is not a permitted use.
 - (c) Despite the maximum permitted lot coverage under section 55.1 (4), the total building footprint for all uses permitted in the A6 zone except for "agriculture" shall not exceed 1,000 m² (10,764 ft²) whereby no one building footprint shall exceed 500m² (5382 ft²).

Residential Rural Zone (R1)

Permitted Uses

- 56 (1) The permitted uses for the R1 zone are as follows:
- Agriculture
 - Assisted Living
 - Bed and Breakfast
 - Community Care Facility
 - Home-based Business
 - Modular Home
 - Single-Family Dwelling
 - Supportive Housing
 - Temporary Mobile Home (subject to the Temporary Mobile Home Permit Bylaw)
 - Two-Family Dwelling [BL3302, BL3367, BL3754]

Minimum Lot Size

- (2) The minimum permitted lot size for the R1 zone is 1,675 m² (18,029 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the R1 zone is 30.0 m (98.43').

Density

- (4) The maximum permitted density for the R1 zone is as follows:
- (a) The number of residential buildings shall not exceed one and the number of dwelling units shall not exceed two.
 - (b) Despite the foregoing, the placement of a Temporary Mobile Home may also be permitted on lots 0.81 ha (two acres), or larger, subject to the Temporary Mobile Home Permit Bylaw. [BL3754]
 - (c) The maximum permitted floor space ratio for the R1 zone is 0.5:1. [BL3383]
 - (d) Despite section 56 (4) (a), a maximum of 2 residential buildings, with a total combined maximum of 2 dwelling units, is permitted on 9272 Cottonwood Road (PID: 006-038-000). [BL3642]
 - (e) Despite section 56 (4) (a), a maximum of 2 residential buildings, with a total combined maximum of 2 dwelling units, is permitted on 1217 Barnes Road (PID: 003-134-814). [BL3666]
 - (f) Despite section 56 (4) (a), a maximum of 2 residential buildings, with a total combined maximum of 2 dwelling units, is permitted on 6343 Wicks Road (PID: 003-145-603). [BL3731]
 - (g) Despite section 56 (4) (a), a maximum of 2 residential buildings, with a total combined maximum of 2 dwelling units, is permitted on 10097 Chemainus Road (PID: 018-858-651). [BL3732]
 - (h) Despite section 56 (4) (a), a maximum of 2 residential buildings, with a total combined maximum of 2 dwelling units, is permitted on 2372 Regina Drive (PID 000-368-393). [BL3760]
 - (i) Despite section 56 (4) (a), a maximum of 2 residential buildings, with a total combined maximum of 2 dwelling units, is permitted on 1038 Herd Road (PID: 023-168-501). [BL3766]
 - (j) Despite section 56 (4) (a), a maximum of 2 residential buildings, with a total combined maximum of 2 dwelling units, is permitted on Lot 7 Wellburn Place (PID: 031-028-314). [BL3809]
 - (k) Despite section 56 (4) (a), a maximum of 2 residential buildings, with a total combined maximum of 2 dwelling units, is permitted on 9376 Cottonwood Road (PID: 004-156-676). [BL3815]
 - (l) Despite section 56 (4)(a), a maximum of 2 residential buildings, with a total combined

- maximum of 2 dwelling units, is permitted on 6353 Genoa Bay Road (PID: 001-165-283) [BL3847]
- (m) Despite section 56(4)(a) a maximum of 2 residential buildings, with a total combined maximum of 2 dwelling units, is permitted on 8921 Chemainus Road (PID: 029-612-829) [BL3852]
- (n) Despite section 56(4)(a) above, a total combined maximum of two dwelling units within a maximum of two residential buildings is permitted on 1211 Barnes Road (PID: 000-006-793) [BL3911]
- (o) Despite section 56(4)(a) above, a total combined maximum of two dwelling units within a maximum of two residential buildings is permitted on 1935 Maple Bay Road (PID: 001-526-031) [BL3944]

Maximum Lot Coverage

- (5) The maximum permitted lot coverage of the R1 zone is 30% of the lot area.

Minimum Setbacks

- (6) The minimum permitted setbacks for the R1 zone are as follows:
 - (a) Principal Buildings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 3.0 m (9.84')
- (6.1) The minimum permitted setback from the vehicle entrance of a principal or accessory building to a public road other than a lane is 5.8 m (19.03'). [BL3150]

Maximum Building Height

- (7) The maximum permitted building heights for the R1 zone are as follows:
 - (a) Principal Buildings, 9.0 m (29.53')
 - (b) Accessory Buildings, 5.0 m (16.40')

Conditions of Use

- (8) The conditions of use for the R1 zone are as follows:
 - (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) Bed and breakfast uses may have no more than six sleeping units.
 - (e) [Repealed. 3758]
 - (f) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted provided that the number of residents does not exceed ten, including resident staff,
 - (ii) the use is within a single-family dwelling unit only,
 - (iii) valid health permits for septic systems or on-site wastewater treatment systems are obtained, where no municipal sewer is available. [BL3302]
 - (g) Limited farm sale of agricultural products may be sold directly to the public provided that:
 - (i) a minimum of 50% of the agricultural products offered for sale are produced on the land;
 - (ii) the covered retail sales area does not exceed 100 m² (1076.4 sq. ft.); and
 - (iii) the retail sales are clearly ancillary to the farm use. [BL3083]

(h) [Repealed. BL3367]

Urban Residential Rural Zone (R1-U)

Permitted Uses

- 56.1 (1) The permitted uses for the R1-U zone are as follows:
- Agriculture
 - Assisted Living
 - Bed and Breakfast
 - Community Care Facility
 - Detached Accessory Dwelling Unit
 - Home-based Business
 - Multi-Family Residence
 - Secondary Suite
 - Single-Family Dwelling
 - Supportive Housing
 - Temporary Mobile Home (subject to the Temporary Mobile Home Permit Bylaw)
 - Two-Family Dwelling [BL3302, BL3367, BL3754]

Minimum Lot Size

- (2) The minimum permitted lot size for the R1-U zone is 1,675 m² (18,029 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the R1-U zone is 30.0 m (98.43').

Density

- (4) The maximum permitted density for the R1-U zone is as follows:
- (a) The number of residential buildings shall not exceed one, except, where the principal residential building consists of a single-family dwelling with or without a secondary suite, in which case one detached accessory dwelling unit is also permitted.
 - (b) The number of dwelling units shall not exceed:
 - (i) Three in the case of lots that are less than 280 m² (3,014 sq. ft.) in area.
 - (ii) Four in the case of lots that are at least 280 m² (3,014 sq. ft.) but not more than 4,050 m² (1 acre) in area.
 - (iv) Two in the case of lots that are greater than 4,050 m² (1 acre) in area.
 - (c) Notwithstanding clause (4)(b) the total number of dwelling units shall not exceed two where the dwelling units are not serviced with municipal water and sewer.
 - (d) Despite the foregoing, the placement of a Temporary Mobile Home may also be permitted on lots 0.81 ha (two acres), or larger, subject to the Temporary Mobile Home Permit Bylaw. [BL3754]

Maximum Lot Coverage

- (5) The maximum permitted lot coverage of the R1-U zone is 30% of the lot area.

Minimum Setbacks

- (6) The minimum permitted setbacks for the R1-U zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 1.5 m (4.92')
 - Yard, Side when adjacent to a lane or street, 3.0 m (9.84')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Accessory Buildings and Structures (Excluding Fences)

Yard, Front, 6.0 m (19.68')

Yard, Side, 3.0 m (9.84')

Yard, Rear, 3.0 m (9.84')

- (6.1) The minimum permitted setback from the vehicle entrance of a principal or accessory building to a public road other than a lane is 5.8 m (19.03'). [BL3150]

Maximum Building Height

- (7) The maximum permitted building heights for the R1-U zone are as follows:
- (a) Principal Buildings, 9.0 m (29.53')
 - (b) Accessory Buildings, 5.0 m (16.40')

Conditions of Use

- (8) The conditions of use for the R1-U zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) Bed and breakfast uses may have no more than six sleeping units.
 - (e) [Repealed. 3758]
 - (f) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted provided that the number of residents does not exceed ten, including resident staff,
 - (ii) the use is within a single-family dwelling unit only,
 - (iii) valid health permits for septic systems or on-site wastewater treatment systems are obtained, where no municipal sewer is available. [BL3302]
 - (g) Limited farm sale of agricultural products may be sold directly to the public provided that:
 - (i) a minimum of 50% of the agricultural products offered for sale are produced on the land;
 - (ii) the covered retail sales area does not exceed 100 m² (1076.4 sq. ft.); and
 - (iii) the retail sales are clearly ancillary to the farm use. [BL3083]
 - (h) [Repealed. BL3367]

Residential Restricted Zone (R2)

Permitted Uses

- 57 (1) The permitted uses for the R2 zone are as follows:
- Assisted Living
 - Bed and Breakfast
 - Community Care Facility
 - Detached Accessory Dwelling Unit
 - Home-based Business
 - Multi-Family Residence
 - Secondary Suite
 - Single-Family Dwelling
 - Supportive Housing [BL3302, BL3323, BL3674]
 - Two-Family Dwelling

Minimum Lot Size

- (2) The minimum permitted lot size for the R2 zone is 890 m² (9,580 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the R2 zone is 21.0 m (68.90').

Density

- (4) The maximum permitted density for the R2 zone is as follows:
- (a) The number of residential buildings shall not exceed one, except where the principal residential building consists of a single-family dwelling with or without a secondary suite, in which case one detached accessory dwelling unit is also permitted.
 - (b) The number of dwelling units shall not exceed:
 - (i) Three in the case of lots that are less than 280 m² (3,014 sq. ft.) in area.
 - (ii) Four in the case of lots that are at least 280 m² (3,014 sq. ft.) but not more than 4,050 m² (1 acre) in area.
 - (v) Two in the case of lots that are greater than 4,050 m² (1 acre) in area.

Maximum Lot Coverage

- (5) The maximum permitted lot coverage of the R2 zone is as follows:
- (a) 30% of the lot area where a lot contains one residential building and up to two dwelling units.
 - (b) 35% of the lot area where a lot contains three or more dwelling units or contains a detached accessory dwelling unit.

Minimum Setbacks

- (6) The minimum permitted setbacks for the R2 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 1.5 m (4.92')
 - Yard, Side when adjacent to a lane or street, 3.0 m (9.84')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.5 m (4.92')
- (6.1) The minimum permitted setback from the vehicle entrance of a principal or accessory building to

a public road other than a lane is 5.8 m (19.03'). [BL3150]

Maximum Building Height

- (7) The maximum permitted building heights for the R2 zone are as follows:
 - (a) Principal Buildings, 9.0 m (29.53')
 - (b) Accessory Buildings, 5.0 m (16.40')

Conditions of Use

- (8) The conditions of use for the R2 zone are as follows:
 - (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted provided that
 - (i) the number of residents does not exceed three, and
 - (ii) the use is within a single-family dwelling unit only. [BL3302]
 - (e) Bed and Breakfast uses may have no more than three sleeping units. [BL3323]
 - (f) Bed and Breakfast uses in a single-family dwelling must be an accessory use and shall not be the principal use. [BL3302; BL3323]

Rural Residential Restricted Zone (R2-R)

Permitted Uses

- 57 (1) The permitted uses for the R2-R zone are as follows:
- Assisted Living
 - Bed and Breakfast
 - Community Care Facility
 - Home-based Business
 - Secondary Suite
 - Single-Family Dwelling
 - Supportive Housing [BL3302, BL3323, BL3674]

Minimum Lot Size

- (2) The minimum permitted lot size for the R2-R zone is 890 m² (9,580 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the R2-R zone is 21.0 m (68.90').

Density

- (4) The maximum permitted density for the R2-R zone is as follows:
- (a) The number of dwelling units shall not exceed two.
 - (b) The number of residential buildings shall not exceed one.

Maximum Lot Coverage

- (5) The maximum permitted lot coverage of the R2-R zone is 30% of the lot area.

Minimum Setbacks

- (6) The minimum permitted setbacks for the R2-R zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.5 m (4.92')
- (6.1) The minimum permitted setback from the vehicle entrance of a principal or accessory building to a public road other than a lane is 5.8 m (19.03'). [BL3150]

Maximum Building Height

- (7) The maximum permitted building heights for the R2-R zone are as follows:
- (a) Principal Buildings, 9.0 m (29.53')
 - (b) Accessory Buildings, 5.0 m (16.40')

Conditions of Use

- (8) The conditions of use for the R2-R zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted provided that

- (i) the number of residents does not exceed three, and
- (ii) the use is within a single-family dwelling unit only. [BL3302]
- (e) Bed and Breakfast uses may have no more than three sleeping units. [BL3323]
- (f) Bed and Breakfast uses in a single-family dwelling must be an accessory use and shall not be the principal use. [BL3302; BL3323]

Residential One and Two-Family Zone (R3)

Permitted Uses

- 58 (1) The permitted uses for the R3 zone are as follows:
- Agriculture
 - Assisted Living
 - Bed and Breakfast
 - Community Care Facility
 - Detached Accessory Dwelling Unit
 - Home-based Business
 - Multi-Family Residence
 - Secondary Suite
 - Single-Family Dwelling
 - Supportive Housing
 - Two-Family Dwelling [BL3302]

Minimum Lot Size

- (2) The minimum permitted lot size in the R3 zone is 670 m² (7,212 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage in the R3 zone is 18.0 m (59.06').

Density

- (4) The maximum permitted density for the R3 zone is as follows:
- (a) The number of residential buildings shall not exceed one, except, where the principal residential building consists of a single-family dwelling with or without a secondary suite, in which case one detached accessory dwelling unit is permitted.
 - (b) The number of dwelling units shall not exceed:
 - (i) Three in the case of lots that are less than 280 m² (3,014 sq. ft.) in area.
 - (ii) Four in the case of lots that are at least 280 m² (3,014 sq. ft.) but not more than 4,050 m² (1 acre) in area.
 - (iii) Two in the case of lots that are greater than 4,050 m² (1 acre) in area.

Maximum Lot Coverage

- (5) Where a lot contains one residential building and up to two dwelling units the maximum permitted lot coverage in the R3 zone is as follows:
- (a) 30% of the lot area for lots of 650 m² (7,000 sq. ft.) or larger; and
 - (b) 35% of the lot area for lots less than 650 m² (7,000 sq. ft.).
- (5.1) Where a lot contains three or more dwelling units or contains a detached accessory dwelling unit the maximum permitted lot coverage in the R3 zone is as follows:
- (a) 35% of the lot area for lots of 650 m² (7,000 sq. ft.) or larger;
 - (b) 40% of the lot area for lots less than 650 m² (7,000 sq. ft.) but larger than 500 m² (5,382 sq. ft.); and
 - (c) 45% of the lot area for lots 500 m² (5,382 sq. ft.) or less.

Minimum Setbacks

- (6) The minimum permitted setbacks for the R3 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 4.5 m (14.76')
 - Yard, Side, 1.5 m (4.92')
 - Yard, Side when adjacent to a lane or street, 3.0 (9.8')
 - Yard, Rear, 7 m (22.97')

- (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 5.0 m (16.40')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.5 m (4.92') [BL3323]
- (6.1) The minimum permitted setback from the vehicle entrance of a principal or accessory building to a public road other than a lane is 5.8 m (19.03'). [BL3150]

Maximum Building Height

- (7) The maximum permitted building heights for the R3 zone are as follows:
- (a) Principal Building, 9.0 m (29.53')
 - (b) Accessory Building, 5.0 m (16.40')

Conditions of Use

- (8) The conditions of use for the R3 zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) Bed and breakfast uses may have no more than three sleeping units.
 - (e) Bed and breakfast uses in a single-family dwelling must be an accessory use and shall not be the principal use.
 - (f) [Repealed, BL3758]
 - (g) [Repealed, BL3674]
 - (i) Limited farm sale of agricultural products may be sold directly to the public provided that:
 - (i) a minimum of 50% of the agricultural products offered for sale are produced on the land;
 - (ii) the covered retail sales area does not exceed 100 m² (1076.4 sq. ft.); and
 - (iii) the retail sales are clearly ancillary to the farm use. [BL3083]
 - (j) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted provided that
 - (i) the number of residents does not exceed three, and
 - (ii) the use is within a single-family dwelling unit only, which for clarity does not include a two-family dwelling. [BL3083; BL3302; BL3323; BL3418]
- (9) Despite sections 58 (2) and 58 (3) the minimum permitted lot size is 450 m² (4,844 sq. ft.) and the minimum permitted frontage is 15 m (49.21') on the following properties:
- (a) 6077 Mary Street (PID: 000-328-332)
 - (b) 3056 Gibbins Road (PID: 005-667-909)
 - (c) Lot 1 Sophia Road (PID: 029-263-123)
 - (d) 3214 Cowichan Lake Road (PID: 001-086-359)
 - (e) 7978 Tidemark Way (PID: 028-795-261)
 - (f) 6125 Lakeview Drive (PID: 003-760-251)
 - (g) 9921 Echo Heights (PID: 027-633-250)
 - (h) 5850 (Lot 3) Highland Avenue (PID: 007-387-687)
 - (i) 1578 Adelaide Street (PID: 003-247-988)
 - (j) 3192 Sherman Road (PID: 002-748-851)
 - (k) 5951 Highland Avenue (PID: 000-392-651)

Driveway Width

- (10) Individual driveway widths shall not exceed 6.0 m (19.68') of the lot frontage for each dwelling.

Rural Residential One and Two-Family Zone (R3-R)

Permitted Uses

- 58.1 (1) The permitted uses for the R3-R zone are as follows:
- Agriculture
 - Assisted Living
 - Bed and Breakfast
 - Community Care Facility
 - Home-based Business
 - Secondary Suite
 - Single-Family Dwelling
 - Supportive Housing
 - Two-Family Dwelling [BL3302]

Minimum Lot Size

- (2) A lot in the R3-R zone must meet the minimum area requirements for the purposes of subdivision and use of the lot for permitted uses as follows:
- (a) Single-family dwelling, 450 m² (4,844 sq. ft.)
 - (b) Single-family dwelling with a secondary suite, 450 m² (4,844 sq. ft.)
 - (c) Two-family dwelling, 700 m² (7,535 sq. ft.) [BL3647, BL3674]

Minimum Frontage

- (3) The minimum permitted frontage in the R3-R zone is as follows:
- (a) Single-family dwelling, 15 m (49.21'),
 - (b) Single-family dwelling with a secondary suite, 15 m (49.21'),
 - (c) Two-family dwelling, 23.0 m (75.46'). [BL3083, BL3674]

Density

- (4) The maximum permitted density for the R3-R zone is as follows:
- (a) The number of residential buildings shall not exceed one.
 - (b) The number of residential units per building shall not exceed two. For strata buildings/lots, each strata unit constitutes one residential unit.

Maximum Lot Coverage

- (5) The maximum permitted lot coverage for the R3-R zone is as follows:
- (a) 30% of the lot area for lots of 650 m² (7,000 sq. ft.) or larger; and
 - (b) 35% of the lot area for lots less than 650 m² (7,000 sq. ft.).

Minimum Setbacks

- (6) The minimum permitted setbacks for the R3-R zone are as follows:
 - (a) Principal Buildings
 - Yard, Front, 5.0 m (16.40')
 - Yard, Side, 2.0 m (6.56')
 - Yard, Side when adjacent to a lane or street, 3.0 (9.8')
 - Yard, Rear, 7.5 m (24.6') [BL3323]
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 5.0 m (16.40')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.5 m (4.92') [BL3323]
- (6.1) The minimum permitted setback from the vehicle entrance of a principal or accessory building to a public road other than a lane is 5.8 m (19.03'). [BL3150]

Maximum Building Height

- (7) The maximum permitted building heights for the R3-R zone are as follows:
 - (a) Principal Building, 9.0 m (29.53')
 - (b) Accessory Building, 5.0 m (16.40')

Conditions of Use

- (8) The conditions of use for the R3-R zone are as follows:
 - (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) Bed and breakfast uses may have no more than three sleeping units.
 - (e) Bed and breakfast uses in a single-family dwelling must be an accessory use and shall not be the principal use.
 - (f) [Repealed, BL3758]
 - (g) [Repealed, BL3674]
 - (h) For a lot created prior to March 31, 2000, a single-family dwelling, two-family dwelling, or secondary suite is permitted on any lot. [BL3323, BL3418]
 - (i) Limited farm sale of agricultural products may be sold directly to the public provided that:
 - (i) a minimum of 50% of the agricultural products offered for sale are produced on the land;
 - (ii) the covered retail sales area does not exceed 100 m² (1076.4 sq. ft.); and
 - (iii) the retail sales are clearly ancillary to the farm use. [BL3083]
 - (j) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted provided that
 - (i) the number of residents does not exceed three, and
 - (ii) the use is within a single-family dwelling unit only, which for clarity does not include a two-family dwelling. [BL3083; BL3302; BL3323; BL3418]

Driveway Width

- (9) Individual driveway widths shall not exceed 6.0 m (19.68') of the lot frontage for each dwelling.

Residential Small Lot Single-Family Zone (R3-S) [BL3196]

Permitted Uses

- 58.2 (1) The permitted uses for the R3-S zone are as follows:
- Detached Accessory Dwelling Unit
 - Multi-Family Residence
 - Secondary Suite
 - Single-Family Dwelling
 - Two-Family Dwelling
 - Home-based Business

Minimum Lot Size

- (2) The minimum permitted lot size for the R3-S zone is 325 m² (3,498 sq. ft.).
- (3) Despite subsection (2) the minimum lot size for a panhandle lot, excluding the panhandle, is 450 m² (4,844 sq. ft.).
- (4) A Streamside Protection Area, under the *Fish Protection Act*, shall not be included in the calculation of minimum lot area.

Minimum Frontage

- (5) Excepting panhandle lots, the minimum permitted frontage for the R3-S zone is as follows:
 - (a) 11.5 m (37.73') where the lot frontage is on a highway;
 - (b) 8.0 m (26.25') where the lot frontage is on a cul-de-sac.

Density

- (6) The maximum permitted density for the R3-S zone is as follows:
 - (a) The number of residential buildings shall not exceed one, except, where the principal residential building consists of a single-family dwelling with or without a secondary suite, in which case one detached accessory dwelling unit is also permitted.
 - (b) The number of dwelling units shall not exceed:
 - (i) Three in the case of lots that are less than 280 m² (3,014 sq. ft.) in area.
 - (ii) Four in the case of lots that are at least 280 m² (3,014 sq. ft.) but not more than 4,050 m² (1 acre) in area.
 - (iii) Two in the case of lots that are greater than 4,050 m² (1 acre) in area.

Maximum Lot Coverage

- (7) Where a lot contains one residential building and up to two dwelling units the maximum permitted lot coverage in the R3-S zone is 40% of the lot area.
- (7.1) Where a lot contains three or more dwelling units or contains a detached accessory dwelling unit the maximum permitted lot coverage in the R3-S zone is as follows:
 - (a) 45% of the lot area for lots 400 m² (4,306 sq. ft.) or larger;
 - (b) 50% of the lot area for lots less than 400 m² (4,306 sq. ft.).

Minimum Setbacks

- (8) The minimum permitted setbacks for the R3-S zone are as follows:
 - (a) Principal Buildings
 - Yard, Front, 4.5 m (14.76')
 - Yard, Side, 1.5 m (4.92')
 - Yard, Side when adjacent to a highway, 3.0 m (9.84')
 - Yard, Rear, 6.0 m (19.68')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 5.0 m (16.4')
 - Yard, Side, 1.0 m (3.28')

- Yard, Rear, 1.0 m (3.28')
- (c) The minimum permitted setback from the vehicle entrance of a principal or accessory building to a highway other than a lane is 5.8 m (19.03').

Maximum Building Height

- (9) The maximum permitted building heights for the R3-S zone are as follows:
 - (a) Principal Building, 9.0 m (29.53')
 - (b) Accessory Building, 5.0 m (16.4')

Conditions of Use

- (10) The conditions of use for the R3-S zone are as follows:
 - (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) Where a rear lane is available, vehicular access to the lot is only permitted from the lane;
 - (e) Only one garage or carport shall be allowed per lot;
 - (f) Despite Section 21 (1) a multi-family residence requires 0.75 parking spaces per dwelling unit.

Residential Medium Density Multi-Family Zone (R3-MF) [BL3495]

Permitted Uses

- 58.3** (1) The permitted uses for the R3-MF zone are:
Multi-Family Residence
- (2) The permitted accessory uses for the R3-MF zone are:
Limited Home-Based Business
Accessory Building

Minimum Frontage and Lot Depth

- (3) The minimum permitted frontage is 18.0 m (59.05')
- (4) The minimum permitted lot depth is 30.0 m (98.43')

Density

- (5) The permitted density for the R3-MF zone is as follows:
- (a) Minimum site area per dwelling unit 160 m² (1,722.23 sq. ft.)
 - (b) Maximum permitted floor space ratio is 0.5:1.

Maximum Lot Coverage

- (6) The maximum permitted lot coverage for the R3-MF zone is 45%; of this, accessory buildings and structures cannot exceed 10% of the lot.

Minimum Setbacks

- (7) The minimum permitted setbacks for the R3-MF zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 5.0 m (16.40')
 - Yard, Side, 1.5m (4.92')
 - Yard Side when adjacent to a lane or street, 3.0 m (9.84')
 - Yard, Rear, 7.5m (24.61')
 - Garage doors from any side or front property line, 5.8m (19.03')
 - (b) Accessory Buildings and Structures
 - Yard, Front, 10.0 m (32.81')
 - Yard, Side, 1.5m (4.92')
 - Yard Side when adjacent to a lane or street, 3.0 m (9.84')
 - Yard, Rear, 1.5m (4.92')

Maximum Building Height

- (8) The maximum permitted building heights for the R3-MF zone are as follows:
- (a) Principal Building, 10.0 m (32.81')
 - (b) Accessory Building, 5.0 m (16.40')

Landscaped Open Space

- (9) Landscaping of the open space must meet the following requirements in the R3-MF zone:
- (a) 30% of the lot area must be provided and maintained as landscaped area not including parking.

Exterior Amenity Space

- (10) In the R3-MF zone, each dwelling unit
- (a) located at or below grade must have, at minimum, private outdoor amenity space of 7.4 m² (79.66 sq. ft.) in area with, at minimum, one horizontal dimension of 3.0 m (9.84'), and

- (b) located above grade (second storey or higher), must have a minimum private outdoor amenity space of 4.75 m² (48.44 sq. ft.) in area with, at minimum, one horizontal dimension of 2.0 m (6.56').

Conditions of Use

- (11) The conditions of use for the R3-MF zone are as follows:
 - (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) [Deleted. BL3958]
 - (e) the lot must have one driveway and must be a maximum of 3.0 m (9.84') wide where it crosses pedestrian sidewalks or trails;
 - (f) parking spaces must be located along the side or rear of the principal building.

Residential Small Lot Mobile Home Zone (R4)

Permitted Uses

- 59 (1) The permitted uses for the R4 zone are as follows:
Home-based Business
Manufactured Home

Minimum Lot Size

- (2) The minimum permitted lot size for the R4 zone is 465 m² (5,005 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the R4 zone is 15.0 m (49.21').

Density

- (4) The maximum permitted density for the R4 zone is as follows:
(a) The number of residential buildings shall not exceed one.

Maximum Lot Coverage

- (5) The maximum permitted lot coverage for the R4 zone is 30% of the lot area. [BL2996]

Minimum Setbacks

- (6) The minimum permitted setbacks for the R4 zone are as follows:
(a) Principal Buildings
Yard, Front, 5.0 m (16.40')
Yard, Side, 2.0 m (6.56')
Yard, Rear, 8.0 m (26.25')
(b) Accessory Buildings and Structures (Excluding Fences)
Yard, Front, 5.0 m (16.40')
Yard, Side, 1.0 m (3.28')
Yard, Rear, 1.5 m (4.92')
- (6.1) The minimum permitted setback from the vehicle entrance of a principal or accessory building to a public road other than a lane is 5.8 m (19.03'). [BL3150]

Maximum Building Height

- (7) The maximum permitted building heights for the R4 zone are as follows:
(a) Principal Building, 5.0 m (16.40')
(b) Accessory Building, 5.0 m (16.40')

Maximum Fence Height

- (8) (a) [Repealed. BL3891]
(b) [Repealed. BL3891]
(c) [Repealed. BL3891]

Residential Mobile Home Park Zone (R5)

Permitted Uses

- 60 (1) The permitted uses for the R5 zone are as follows:
Accessory Dwelling Unit
Home-based Business
Mobile Home Park
Mobile Home Park Office

Minimum Lot Size

- (2) (a) The minimum permitted lot size for the R5 zone is 2.0 hectares (4.94 acres).
(b) The minimum permitted area for a mobile home space is 325 m² (3,498.39 sq. ft.).

Minimum Frontage

- (3) (a) The minimum permitted frontage for the R5 zone is 60.0 m (196.85').
(b) The minimum permitted frontage for a mobile home space is 12.0 m (39.37') or, in the case of a cul-de-sac or panhandle lot, 6.0 m (19.68').

Density

- (4) The maximum permitted density for the R5 zone is as follows:
(a) The maximum number of units is twenty units per hectare (8 per acre).

Buffer

- (5) A landscaped buffer, which is separate from the individual mobile home pads, shall be provided of not less than 8.0 m (26.25') in width along the front lot line, and not less than 5.0 m (16.40') in width from any other lot line of the mobile home park. Within this buffer area, no buildings or dwellings, nor parking or storage of motor vehicles, nor roadways other than perpendicular crossing shall be permitted.
(a) Despite the foregoing, in the case of a corner lot, lot lines which abut highways shall have a buffer of not less than 8.0 m (26.25') in width.

Minimum Setbacks

- (6) The minimum permitted setbacks for the R5 zone are as follows:
(a) Mobile Home Park Office
Yard, Front, 8.0 m (26.25')
Yard, Side, 5.0 m (16.40')
Yard, Rear, 5.0 m (16.40')
(b) Accessory Buildings and Structures (Excluding Fences)
Yard, Front, 8.0 m (26.25')
Yard, Side, 5.0 m (16.40')
Yard, Rear, 5.0 m (16.40')

Minimum Yard Requirements for Each Mobile Home Space

- (7) The minimum yard requirements for each mobile home space in a Mobile Home Park in the R5 zone are as follows:
Yard, Front, 1.8 m (5.91') in depth
Yard, Side, 1.5 m (4.92') in width
Yard, Rear, 1.8 m (5.91') in depth

Maximum Building Height

- (8) The maximum permitted building heights for the R5 zone are as follows:
 - (a) Principal Building, 7.6 m (24.93')
 - (b) Accessory Building, 7.6 m (24.93')

Mobile Home Space Coverage

- (9)
 - (a) The mobile home and additions to it, exclusive of a carport, must not cover more than 35% of the mobile home space upon which it is situated. [BL3323]
 - (b) Any addition to a mobile home, exclusive of a carport, porches, open sundecks, and detached storage sheds, shall not be larger in area than 20% of the floor area of the mobile home.

Recreation Area

- (10) In addition to the perimeter buffer area, a recreation area of not less than 5% of the gross site area shall be established.
 - (a) Where indoor recreation space is provided, it shall be counted as double its actual area.

Conditions of Use

- (11) Mobile home parks are also subject to "Mobile Home Park Bylaw 1978", No. 1775.

Residential Townhouse Zone (R6)

Permitted Uses

- 61 (1) The permitted uses for the R6 zone are as follows:
- Home-based Business
 - Single-Family Dwelling (subject to the provisions of the R3 zone)
 - Townhouse
 - Two-Family Dwelling [BL3383]

Minimum Lot Size

- (2) The minimum lot size for the R6 zone is 1,170 m² (12,594 sq. ft.). [BL3083]

Minimum Frontage

- (3) The minimum permitted frontage for the R6 zone is 30 m (98.43').

Density

- (4) The maximum permitted density for the R6 zone is as follows:
- (a) One dwelling unit per 290 m² (3,121.53 sq. ft.) of lot area.
 - (b) The maximum permitted floor space ratio for the R6 zone is 0.5:1.

Maximum Lot Coverage

- (5) The maximum permitted lot coverage for the R6 zone is 30% of the lot area.

Minimum Setbacks

- (6) The minimum permitted setbacks for the R6 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.5 m (4.92')
- (6.1) The minimum permitted setback from the vehicle entrance of a principal or accessory building to a public road other than a lane is 5.8 m (19.03'). [BL3150]

Maximum Building Height

- (7) The maximum permitted building heights for the R6 zone are as follows:
- (a) Principal Buildings, 9.0 m (29.53')
 - (b) Accessory Buildings, 5.0 m (16.40')

Minimum Separation Between Buildings on the Same Lot

- (8) The minimum permitted separations between buildings on the same lot for the R6 zone are as follows:
- (a) From windows to habitable rooms, 12.0 m (39.37')
 - (b) Between walls and all other windows, 6.0 m (19.69')
 - (c) Between walls, 4.0 m (13.12')

Landscaped Open Space

- (9) In the R6 zone, 30% of the lot area shall be provided and maintained as landscaped open space.

Recreation Area

- (10) In the R6 zone, 4.5% of the lot area shall be designated and developed for recreational use. Such recreation area shall:
- (a) have a minimum area of 40 m² (430.60 sq. ft.);
 - (b) be located in the rear of the front line of the building(s); and
 - (c) be located not closer than 6.0 m (19.68') to any dwelling unit.

Conditions of Use

- (11) The conditions of use for the R6 zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) [Deleted. BL3958]
 - (e) Parking spaces must be separated from any walls of the building(s) which contain windows by a minimum of 4.0 m (13.12').
 - (f) The total number of dwelling units in the form of two-family dwellings, shall not exceed 15% of the total number of dwelling units for the whole development. [BL3383]

Residential Multi-Family Zone (R7)

Permitted Uses

- 62 (1) The permitted uses for the R7 zone are as follows:
- Apartment
 - Congregate Housing
 - Limited Home-based Business
 - Secondary Suite (within Single-Family Dwelling)
 - Single-Family Dwelling (subject to the provisions of the R3 zone; or, where part of a Building Strata, subject to the provisions below)
 - Townhouse (subject to the provisions of the R6 zone, except section 61 (4))
 - Two-Family Dwelling [BL3457]

Minimum Lot Size

- (2) The minimum permitted lot size for the R7 zone is 1,120 m² (12,056 sq. ft.)

Minimum Frontage

- (3) The minimum permitted frontage for the R7 zone is 30 m (98.43').

Density

- (4) The maximum permitted density for the R7 zone is as follows:
- (a) One dwelling unit per 280 m² (3,013.90 sq. ft.) of lot area for the townhouse use;
 - (b) One dwelling unit per 300 m² (3,229.17 sq. ft.) of lot area averaged for a building strata consisting of all dwelling units that are considered single-family dwelling and secondary suite uses;
 - (c) The maximum permitted floor space ratio for the townhouse, two-family dwelling, single-family dwelling unit and single-family dwelling unit with secondary suite uses is 0.5:1;
 - (d) The maximum permitted floor space ratio for the apartment use is 0.6:1; and
 - (e) The size of the secondary suite must not be smaller than 37 m² (398.3 sq. ft.) nor larger than 85 m² (914.9 sq. ft.) or 40% of the principal dwelling unit, whichever is less.

Maximum Lot Coverage

- (5) The maximum permitted lot coverage, including covered parking, for the R7 zone is 30% of the lot area. However, where 2/3 of the required off-street parking spaces are provided as covered parking, the maximum permitted lot coverage, including covered parking, for the R7 zone is 35%.

Minimum Setbacks

- (6) The minimum permitted setbacks for the R7 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 5.0 m (16.40')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Accessory Building and Structures (Excluding Fences)
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.5 m (4.92')

Maximum Building Height

- (7) The maximum permitted building heights for the R7 zone are as follows:
- (a) Principal Buildings, 9.0 m (29.53')
 - (b) Accessory Buildings, 5.0 m (16.40')

Minimum Separation between Buildings on the Same Lot

- (8) The minimum permitted separation between Apartment, Townhouse and Two-family buildings on the same lot for the R7 zone are as follows:
- (a) Between windows and habitable rooms, 12.0 m (39.37')
 - (b) Between walls and other windows, 6.0 m (19.68')
 - (c) Between walls, 6.0 m (19.68')
- (9) The minimum permitted building separation and building siting for Single-Family Dwelling units and Single-Family Dwelling units with Secondary Suites part of a building strata are as follows:
- (a) Setback, Front abutting the common strata road, 3.0 m (9.84')
 - (b) Setback, Front for vehicle entrance of a garage, or carport from a common strata road, 5.8 m (19.03')
 - (c) Separation, Rear, 6.0 m (19.68') per unit
 - (d) Separation, Side (no parking in side yard), 1.5 m (4.92') per unit
 - (e) Separation, Side (parking in side yard), 4.3 m (14.11') per unit.

Landscaped Open Space

- (10) In the R7 zone, 30% of the lot area shall be provided and maintained as landscaped open space.

Recreation and Exterior Amenity Area

- (11) In the R7 zone, 4.5% of the lot area shall be designated and developed for recreational use. Such recreation area shall:
- (a) have a minimum area of 40 m² (430.60 sq. ft.);
 - (b) be located in the rear of the line, front, of the building(s); and
 - (c) be located not closer than 6.0 m (19.68') to any dwelling unit.
- (12) In the R7 zone, each Secondary Suite shall have a minimum of 30 m² (322.92 sq. ft.) of useable exterior at-grade amenity space, which is immediately adjacent to the Secondary Suite.

Conditions of Use

- (13) The conditions of use for the R7 zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) [Deleted. BL3958]
 - (e) Parking spaces must be separated from any walls of the building(s) which contain windows by a minimum of 4.0 m (13.12') for Apartment, and Townhouse uses.
 - (f) The total number of dwelling units in the form of two-family dwellings shall not exceed 15% of the total number of dwelling units for the whole development.

Residential Ground-Oriented Multi-Family Zone (R7-A) [BL3262]

Permitted Uses

- 62.1 (1) The permitted uses for the R7-A zone are as follows:
- Townhouse
 - Limited Home-based Business
 - Single-Family Dwelling (subject to the provisions of the R3 zone)
 - Two-Family Dwelling [BL3383]

Minimum Lot Size

- (2) The minimum permitted lot size for the R7-A zone is 1,120 m² (12,056 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the R7-A zone is 30 m (98.43').

Density

- (4) The maximum permitted density for the R7-A zone is as follows:
- (a) One dwelling unit per 200 m² (2,152.78 sq. ft.) of lot area (50 units per hectare).
 - (b) The maximum permitted floor space ratio for the R7-A zone is 0.5:1. [BL3383]

Maximum Lot Coverage

- (5) The maximum permitted lot coverage, including covered parking, for the R7-A zone is 30% of the lot area. Despite the foregoing, where at least 2/3 of the required off-street parking spaces are provided as covered parking, the maximum permitted lot coverage, including covered parking is 35%.

Minimum Setbacks

- (6) The minimum permitted setbacks for the R7-A zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 5.0 m (16.4')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 8.0 m (26.25')

Maximum Building Height

- (7) The maximum permitted building heights for the R7-A zone are as follows:
- (a) Principal Buildings, 9.0 m (29.53')
 - (b) Accessory Buildings, 5.0 m (16.4')

Minimum Separation between Buildings on the Same Lot

- (8) The minimum permitted separation between buildings on the same lot for the R7-A zone are as follows:
- (a) Between walls with windows, 6.0 m (19.68')
 - (b) Between walls without windows, 4.0 m (13.12')

Landscaped Open Space

- (9) In the R7-A zone, 30% of the lot area shall be provided and maintained as landscaped open space.

Recreation Area

- (10) In the R7-A zone, 4.5% of the lot area shall be designated and developed for recreational use. Such recreation area shall:
- (a) have a minimum lot area of 40 m² (430.60 sq. ft.);
 - (b) be located in the rear of the front line of the building(s); and
 - (c) be located not closer than 6.0 m (19.68') to any dwelling unit.
- (10.1) Variances to the on-site recreation area requirement will be considered where an equivalent contribution is provided as public park.

Conditions of Use

- (11) The conditions of use for the R7-A zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) [Deleted. BL3958]
 - (e) Parking spaces must be separated from any walls of the building(s) which contain windows by a minimum of 4.0 m (13.12').
 - (f) All dwelling units must have a private, at-grade exterior entrance.
 - (g) The total number of dwelling units in the form of two-family dwellings shall not exceed 15% of the total number of dwelling units for the whole development. [BL3383]

Residential Multi-Family Apartment Zone (R8)

Permitted Uses

- 63 (1) The permitted uses for the R8 zone are as follows:
- Apartment
 - Congregate Housing
 - Limited Home-based Business
 - Single-Family Dwelling (subject to the provisions of the R3 zone) [BL3302]

Minimum Lot Size

- (2) The minimum permitted lot size for the R8 zone is 1,120 m² (12,056 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the R8 zone is 30 m (98.43').

Density

- (4) The maximum permitted density for the R8 zone is as follows:
- (a) The maximum permitted floor space ratio for the R8 zone is 1:1.

Maximum Lot Coverage

- (5) The maximum permitted lot coverage, including covered parking, for the R8 zone is 40% of the lot area. [BL3038]

Minimum Setbacks

- (6) The minimum permitted setbacks for the R8 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 5.0 m (16.4')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.5 m (4.92')

Maximum Building Height

- (7) The maximum permitted building heights for the R8 zone are as follows:
- (a) Principal Buildings, 11.0 m (36.09')
 - (b) Accessory Buildings, 5.0 m (16.4')

Minimum Separation Between Buildings on the Same Lot

- (8) The minimum permitted separations between buildings on the same lot for the R8 zone are as follows:
- (a) From windows to habitable rooms, 12.0 m (39.37')
 - (b) Between walls and all other windows, 6.0 m (19.68')
 - (c) Between walls, 6.0 m (19.68')

Maximum Gross Floor Area of any One Building

- (9) The maximum permitted gross floor area of any one building for the R8 zone is 6,000 m² (64,583 sq. ft.).

Landscaped Open Space

- (10) In the R8 zone, 30% of the lot area shall be provided and maintained as landscaped open space.

Recreation Area

- (11) In the R8 zone, 4.5% of the lot area shall be designated and developed for recreational use. Such recreation area shall:
- (a) have a minimum area of 40 m² (430.60 sq. ft.);
 - (b) be located in the rear of the front line of the building(s); and
 - (c) be located not closer than 6.0 m (19.68') to any dwelling unit.

Conditions of Use

- (12) The conditions of use for the R8 zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) [Deleted. BL3958]
 - (e) Parking spaces must be separated from any walls of the building(s) which contain windows by a minimum of 4.0 m (13.12').

Private Residence Water Lot Zone (W1)

Permitted Uses

- 64 (1) The permitted uses for the W1 zone are as follows:
- Pier
 - Private Float
 - Swimming Float
 - Walkway (those necessary for practical access to property immediately abutting the foreshore)
 - Wharf

Conditions of Use

- (2) The conditions of use for the W1 zone are as follows:
- (a) Private floats and wharves shall be used for purposes of private access only. No commercial or industrial activity or use shall take place on such floats or wharves.
 - (b) Floats, wharves, piers, and walkways shall be located within the boundaries of a lawful water lease area or licence of occupation area, as approved by the Province of British Columbia.
 - (c) A private float or wharf shall not extend any further distance than is necessary for private boat access and moorage at extreme low tide or low water level.
 - (d) No section of a private float or wharf shall exceed a width of 4.0 m (13.12').
 - (e) No building or structure, other than the posts necessary to carry lighting fixtures and the posts, rails, and supports necessary for safety, may be erected on any private float or wharf.
 - (f) Private floats, wharves, piers, and walkways shall be designed and constructed in such a manner as to not impede pedestrian access along the foreshore.

Light Commercial Water Lot Zone (W2)

Permitted Uses

- 65 (1) The permitted uses for the W2 zone are as follows:
- Boat Charter
 - Boat Ramp
 - Boat Rental
 - Boat Shelters
 - Float
 - Float Home (subject to "Float Home Standards Bylaw 1999", No. 3015)
 - Marina
 - Marine-related Office
 - Moorage Facility
 - Parking Use
 - Pier
 - Walkway
 - Water Taxi
 - Wharf
 - Yacht Club [BL3068]
- (2) The following additional uses are permitted on a water lot containing a W2a designation:
- Marine-fueling Facility
- (3) The following additional uses are permitted within a water lot containing a W2b designation:
- All uses permitted in the W2 and W2a Zone
 - Hotel [BL2974]

Maximum Water Lot Coverage

- (4) The maximum water lot coverage for the W2 zone is as follows:
- (a) The coverage of all buildings and structures, excluding boat shelters, constructed on wharves shall not exceed ten percent (10%) of the total water lot area, excluding boat shelters.

Conditions of Use

- (5) The conditions of use for the W2 zone are as follows:
- (a) Floats, wharves, piers, ways, and walkways shall be contained within the boundaries of a lawful water lot lease area or licence of occupation area, as approved by British Columbia Lands.

Maximum Height of Structures

- (6) No structure shall exceed 10.0 m (33.0') in height as measured from the highwater mark to the highest point of the structure.
- (a) Despite the foregoing, boat hoists, gantries, and other equipment for repairing or removing boats to and from the water are unrestricted with respect to height.

Mixed Use Commercial Water Lot Zone (W3)

Permitted Uses

- 66 (1) The permitted uses for the W3 zone are as follows:
- Accessory Dwelling Unit
 - Aquarium
 - Boat Charter
 - Boat Ramp
 - Boat Rental
 - Boat Shelter
 - Float
 - Float Home (subject to "Float Home Standards Bylaw 1999", No. 3015)
 - Home-based Business
 - Marina
 - Marine Museum
 - Marine-related Office
 - Moorage Facility
 - Parking Use
 - Pier
 - Sale of Boats
 - Sale of Seafood
 - Water Taxi
 - Walkway
 - Way
 - Wharf
 - Yacht Club [BL3068]
- (2) The following additional uses are permitted on a lot containing a W3a designation:
- Marine-fueling Facility

Maximum Water Lot Coverage

- (4) The maximum permitted water lot coverage for the W3 zone is as follows:
- (a) Total water lot coverage of all boat shelters, and walkways (fixed or floating) shall not exceed 50% of the water lot surface.
 - (b) The gross water coverage of all buildings and structures constructed on wharves shall not exceed 10% of the total water lot area.

Conditions of Use

- (5) The conditions of use for the W3 zone are as follows:
- (a) Floats, wharves, piers, ways, and walkways shall be contained within the boundaries of a lawful water lot lease area.

Maximum Height of Structures

- (6) No structure shall exceed 10.0 m (33') in height as measured from the highwater mark to the highest point of the structure.
- (a) Despite the foregoing, boat hoists, gantries, and other equipment for repairing or moving boats to and from the water are unrestricted with respect to height.

Upland Tourist Commercial Marine Zone (MA1)

Permitted Uses

- 67 (1) The permitted uses for the MA1 zone are as follows:
- Accessory Dwelling Unit
 - Accessory Convenience Store
 - Aquarium
 - Bed and Breakfast
 - Boat Building and Repair Facility
 - Boat Hoist
 - Boat Launch
 - Boat Launching Ramp
 - Boat Rentals/Sales
 - Boat Shelter
 - Boat Storage
 - Dry Dock
 - Hotel
 - Laundromat
 - Marine Museum
 - Marine-fueling Facility
 - Marine-related Office
 - Mobile Food Service
 - Parking Use
 - Pub
 - Recreational Equipment Rentals
 - Restaurant
 - Sale of Marine-related Equipment
 - Seafood Market
 - Shower Facility
 - Tourist Accommodation
 - Water Taxi
 - Way
 - Yacht Club [BL3657]

Minimum Lot Size

- (2) The minimum permitted lot size for the MA1 zone is 560 m² (6,028 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the MA1 zone is 15 m (49.21').

Maximum Lot Coverage

- (4) The maximum permitted lot coverage for the MA1 zone is 50% of the lot area.

Minimum Setbacks

- (5) The minimum permitted setbacks for the MA1 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 8.0 m (26.25')
 - Yard, Side, 3.0 m (9.84')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 8.0 m (26.25')
 - Yard, Side, 1.0 m (3.28')

Maximum Building Height

- (6) The maximum permitted building height for the MA1 zone is 12 m (39.37').
 - (a) Despite the foregoing, boat hoists, gantries and other equipment for repairing or moving boats to and from the water are unrestricted with respect to height.

Conditions of Use

- (7) The conditions of use for the MA1 zone are as follows:
 - (a) The gross floor area for accessory convenience stores shall not exceed 100 m² (1,076.43 sq. ft.).

Upland Tourist Commercial / Residential Marine Zone (MA2) [BL3132]

Permitted Uses

- 67.1** (1) The permitted uses for the MA2 Zone are as follows:
All uses permitted in the MA1 Zone
Residential Use

Maximum Residential Use

- (2) Residential Use may cover no more than 50% of the total site area.

Minimum Lot Size

- (3) The minimum permitted lot size for the MA2 Zone is 10,000 m² (107,640 sq. ft.).

Minimum Frontage

- (4) The minimum permitted frontage for the MA2 Zone is 100 m (328.10').

Lot Coverage

- (5) (a) Marine Commercial Use - 50% of the marine commercial site area.
(b) Residential Use - 30% of the residential site area.

Density

- (6) (a) Up to one dwelling unit per 275 m² (2,960 sq. ft.) of residential site area.

Minimum Setbacks

- (7) The minimum permitted setbacks for the MA2 Zone are as follows:
(a) Principal Buildings
Yard, Front, 8.0 m (26.25')
Yard, Side, 3.0 m (9.84')
(b) Accessory Buildings and Structures (Excluding Fences)
Yard, Front, 8.0 m (26.25')
Yard, Side, 1.0 m (3.28')

Maximum Building Height

- (8) The maximum permitted building height for the MA2 Zone is 12 m (39.37').
(a) Despite the foregoing, boat hoists, gantries and other equipment for repairing or moving boats to and from the water are unrestricted with respect to height.

Conditions of Use

- (9) The conditions of use for the MA2 Zone are as follows:
(a) The gross floor area for accessory convenience stores shall not exceed 100 m² (1,076.43 sq. ft.).

Commercial Local Zone (C1)

Permitted Uses

- 68 (1) The permitted uses for the C1 zone are as follows:
- Accessory Dwelling Unit
 - Dry Cleaner
 - Hairdresser
 - Laundromat
 - Mobile Food Service
 - Office
 - Retail Store [BL3657]

Minimum Lot Size

- (2) The minimum permitted lot size for the C1 zone is 560 m² (6,028 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the C1 zone is 15 m (49.21').

Density

- (4) The maximum permitted density for the C1 zone is one principal building on a lot. [BL3457]

Maximum Gross Floor Area

- (5) The maximum permitted gross floor area for all buildings for the C1 zone is 280 m² (3,013.89 sq. ft.).

Maximum Lot Coverage

- (6) The maximum permitted lot coverage for the C1 zone is 40% of the lot area.

Minimum Setbacks

- (7) The minimum permitted setbacks for the C1 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 5.0 m (16.4')
 - Yard, Side, 2.0 m (6.56')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 5.0 m (16.4')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.5 m (4.92')

Maximum Building Height

- (8) The maximum permitted building heights for the C1 zone are as follows:
- (a) Principal Buildings, 9.0 m (29.53')
 - (b) Accessory Buildings, 5.0 m (16.4')

Commercial General Zone (C2)

Permitted Uses

- 69 (1) The permitted uses for the C2 zone are as follows:
- Accessory Dwelling Unit
 - Appliance and Small Equipment Repair
 - Bed and Breakfast
 - Bus Depot
 - Car Wash
 - Club
 - Commercial Cardlock Facility
 - Commercial School
 - Dry Cleaner
 - Entertainment Use
 - Financial Institution
 - Fitness Centre/Gymnasium
 - Funeral Parlour
 - Hairdresser
 - Home-Based Business
 - Hotel
 - Laundromat
 - Medical Laboratory
 - Mini-Warehousing
 - Mixed-use Building
 - Mobile Food Service
 - Night Club
 - Nursery
 - Office
 - Parking Use
 - Pub
 - Restaurant
 - Retail Lumber and Building Supply Yard
 - Retail of Motor Vehicle Parts and Accessories
 - Retail Store
 - Service Station
 - Single-Family Dwelling (subject to the provision of the R3 zone)
 - Tool Rental
 - Veterinary Clinic
 - Wholesale Store [BL3150, BL3657]

Minimum Lot Size

- (2) The minimum permitted lot size for the C2 zone is 560 m² (6,028 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the C2 zone is 15 m (49.21').

Maximum Lot Coverage

- (4) The maximum permitted lot coverage for the C2 zone is 100% of the lot area, except such area as required for off-street parking and loading facilities, landscaping requirements, and fencing and highway setbacks.

Minimum Setbacks

- (5) There are no minimum setbacks for the C2 zone except:
 - (a) where the lot abuts residentially zoned land that yard which abuts the residentially zoned land shall be 3.0 m (9.84') in depth; and
 - (b) where the lot abuts an arterial highway the yard, front, shall be 4.5 m (15') in depth.

Maximum Building Height

- (6) The maximum permitted building heights for the C2 zone are as follows:
 - (a) Principal Building, 12.0 m (39.37')
 - (b) Accessory Building, 5.0 m (16.4')

Conditions of Use

- (7) The maximum permitted residential density for the C2 zone is as follows:
 - (b) The total number of dwelling units shall not exceed two, except that a total of four dwelling units are permitted when both of the following conditions are met:
 - (i) the lot is least 280 m² (3,014 sq. ft.) but not more than 4,050 m² (1 acre) in size, and
 - (ii) the dwelling units are serviced with municipal water and sewer.
- (8) Despite subsection 69 (1), "apartment" is a permitted use for Lot A, Plan EPP95112, Skinner Road (PID: 030-911-834) and subsection 69 (7) does not apply. [BL3824]

Commercial Service Zone (C3)

Permitted Uses

- 70 (1) The permitted uses for the C3 zone are as follows:
- All Uses Permitted in the C2 Zone
 - Accessory Custom Workshop
 - Automotive Repair Shop
 - Bed and Breakfast
 - Home-Based Business
 - Major Equipment Repair
 - Market Garden
 - Micro cannabis production facility
 - Mobile Food Service
 - Motor Vehicle Sales and Rentals
 - Single-family Dwelling (subject to the provision of the R3 zone)
 - Truck Depot
 - Warehousing [BL3037, BL3150, BL3657; BL3746]

Minimum Lot Size

- (2) The minimum permitted lot size for the C3 zone is 560 m² (6,028 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the C3 zone is 15.0 m (49.21').

Maximum Lot Coverage

- (4) The maximum permitted lot coverage for the C3 zone is 50% of the lot area.

Minimum Setbacks

- (5) The minimum permitted setbacks for the C3 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 8.0 m (26.25')
 - Yard, Side (One only), 5.0 m (16.4')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 8.0 m (26.25')
 - Yard, Side (One only), 1.0 m (3.28')
 - (c) Where a lot line, side, of a lot abuts residentially-zoned land, the yard, side, shall be maintained on that side adjacent to such residentially zoned land.
 - (d) Despite the foregoing, where the lot line, rear, of a lot abuts residentially-zoned land the required yard, rear, shall be 8.0 m (26.25').

Maximum Building Height

- (6) The maximum permitted building heights for the C3 zone are as follows:
- (a) Principal Buildings, 12.0 m (39.37')
 - (b) Accessory Buildings, 5.0 m (16.4')

Conditions of Use

- (7) The maximum permitted residential density for the C2 zone is as follows:
 - (a) The total number of dwelling units shall not exceed two, except that a total of four dwelling units are permitted when both of the following conditions are met:
 - (i) the lot is least 280 m² (3,014 sq. ft.) but not more than 4,050 m² (1 acre) in size,
and
 - (ii) the dwelling units are serviced with municipal water and sewer.

Commercial Recreational Zone (C4)

Permitted Uses

- 71 (1) The permitted uses for the C4 zone are as follows:
- Accessory Dwelling Unit
 - Accessory Sales
 - Driving Range
 - Golf Course
 - Hotel
 - Mini Golf
 - Mobile Food Service
 - Dining Room
 - Restaurant
 - Tourist Accommodation
 - Zoo or Game Farm [BL3657]

Minimum Lot Size

- (2) The minimum permitted lot size for the C4 zone is 560 m² (6,028 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the C4 zone is 15.0 m (49.21').

Maximum Lot Coverage

- (4) The maximum permitted lot coverage for the C4 zone is 30% of the lot area.

Minimum Setbacks

- (5) The minimum permitted setbacks for the C4 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 8.0 m (26.25')
 - Yard, Side, 5.0 m (16.4')
 - Yard, Rear, 5.0 m (16.4')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 8.0 m (26.25')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.5 m (4.92')

Maximum Building Height

- (6) The maximum permitted building heights for the C4 zone are as follows:
- (a) Principal Buildings, 12.0 m (39.37')
 - (b) Accessory Buildings, 5.0 m (16.4')

Commercial Professional Zone (C6)

Permitted Uses

- 72 (1) The permitted uses for the C6 zone are as follows:
- Accessory Dwelling Unit
 - Mobile Food Service
 - Professional Office [BL3657]

Minimum Lot Size

- (2) The minimum permitted lot size for the C6 zone is 890 m² (9,580 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the C6 zone is 21 m (68.9').

Maximum Intensity of Use

- (4) The maximum intensity of use for the C6 zone is as follows:
- (a) The number of principal buildings on a lot shall not exceed one (1).
 - (b) The number of individual offices on a lot shall not exceed one (1).

Maximum Gross Floor Area

- (5) The maximum permitted gross floor area for the C6 zone is 280 m² (3,013.89 sq. ft.).

Maximum Lot Coverage

- (6) The maximum permitted lot coverage for the C6 zone is 30% of the lot area.

Minimum Setbacks

- (7) The minimum permitted setbacks for the C6 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 5.0 m (16.4')
 - Yard, Side, 2.0 m (6.56')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 5.0 m (16.4')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.5 m (4.92')

Maximum Building Height

- (8) The maximum permitted building heights for the C6 zone are as follows:
- (a) Principal Building, 9.0 m (29.53')
 - (b) Accessory Building, 5.0 m (16.4')

Commercial Rural Hospitality Zone (C7)

Permitted Uses

- 73 (1) The permitted uses for the C7 zone are as follows:
- Agriculture
 - Accessory Dwelling Unit
 - Bed and Breakfast
 - Dining Room
 - Home-Based Business
 - Mobile Food Service
 - Single-Family Dwelling
 - Tea Room [BL3150, BL3657]

Minimum Lot Size

- (2) The minimum permitted lot size for the C7 zone is 8,000 m² (1.98 acres).

Minimum Frontage

- (3) The minimum permitted frontage for the C7 zone is 90 m (295.87').

Maximum Lot Coverage

- (4) The maximum permitted lot coverage for the C7 zone is 30% of the lot area.

Maximum Floor Space Ratio of All Buildings and Structures

- (5) The maximum permitted floor space ratio for the C7 zone is 0.3:1.

Minimum Setbacks

- (6) The minimum permitted setbacks for the C7 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 8.0 m (26.25')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 6.0 m (19.68')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.5 m (4.92')

Maximum Building Height

- (7) The maximum permitted building heights for the C7 zone are as follows:
- (a) Principal Building, 9.0 m (29.53')
 - (b) Accessory Building, 5.0 m (16.4')

Conditions of Use

- (8) The conditions of use for the C7 zone are as follows:
- (a) Bed and breakfast uses may have no more than six (6) sleeping units.
 - (b) Limited farm sale of agricultural products may be sold directly to the public provided that:
 - (i) a minimum of 50% of the agricultural products offered for sale are produced on the land;
 - (ii) the covered retail sales area does not exceed 100 m² (1076.4 sq. ft.); and
 - (iii) the retail sales are clearly ancillary to the farm use. [BL3083]

Commercial Rural Recreation Zone (C8)

Permitted Uses

- 74 (1) The permitted uses for the C8 zone are as follows:
- Accessory Dwelling Unit
 - Amusement Park
 - Archery Range
 - Drive-in Theatre
 - Microlite Aircraft and Glider Landing Strips
 - Mobile Food Service
 - Racetrack
 - Recreational Facility
 - Shooting Range [BL3657]

Minimum Lot Size

- (2) The minimum permitted lot size for the C8 zone is 4 hectares (9.88 acres).

Minimum Frontage

- (3) The minimum permitted frontage for the C8 zone is 150 m (492.13').

Maximum Lot Coverage

- (4) The maximum permitted lot coverage for the C8 zone is 30% of the lot area.

Maximum Floor Space Ratio of All Buildings and Structures

- (5) The maximum permitted floor space ratio for the C8 zone is 0.5:1.

Minimum Setbacks

- (6) The minimum permitted setbacks for the C8 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 30 m (98.43')
 - Yard, Side, 30 m (98.43')
 - Yard, Rear, 30 m (98.43')
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 8.0 m (26.25')
 - Yard, Side, 5.0 m (16.4')
 - Yard, Rear, 5.0 m (16.4')

Maximum Building Height

- (7) The maximum permitted building heights for the C8 zone are as follows:
- (a) Principal Building, 12.0 m (39.37')
 - (b) Accessory Building, 12.0 m (39.37')

Chemainus Commercial Zone (C9)

Permitted Uses

- 75 (1) The permitted uses for the C9 zone are as follows:
- Accessory Dwelling Unit
 - Accessory Office Use
 - Brew Pub
 - Club
 - Gallery
 - Financial Institution
 - Hairdresser
 - Hotel
 - Laundromat
 - Mixed Use Building
 - Mobile Food Service
 - Museum
 - Office
 - Parking Use
 - Pubs
 - Recreational Facility
 - Veterinary Clinic
 - Restaurant
 - Retail Store [BL3323, BL3657]

Lot Size

- (2) The minimum permitted lot size in the C9 zone is 670 m² (7212 sq. ft.) and the maximum lot size shall not exceed 750 m² (8070 sq. ft.).

Maximum Lot Coverage

- (3) The maximum lot coverage shall not exceed 50%.

Maximum Floor Area Ratio of All Building and Structures

- (4) Residential use must not exceed 50% of the total floor area.

Conditions of Use

- (5) Residential uses are not permitted on the ground floor of any building.
- (6) Offices shall not exceed 1,000 m² in one building.
- (7) Ten percent (10%) of the lot must be walkways, plazas or landscaped area.

Maximum Building Height

- (8) The Maximum height shall not exceed 9.0 m (29.53') for 50% of the coverage, nor 12.0 m (39.37') for the remaining 50% of the covered area.

Minimum Setbacks

- (9) One yard of not less than 4.0 m (13.12') in width is required.

Industrial Light Zone (I1)

Permitted Uses

- 76 (1) The permitted uses for the I1 zone are as follows:
- Accessory Office
 - Accessory Dwelling Unit
 - Accessory Restaurant
 - Autobody Repair
 - Dry-cleaning Plant or Laundry
 - Cannabis Production Facility
 - Commercial Cardlock Facility
 - Custom Workshop
 - Fitness Centre/Gymnasium
 - Food and Beverage Processing
 - Fueling Installations
 - Laboratory
 - Industrial Use
 - Machine Shop
 - Mini-warehousing
 - Mobile Food Service
 - Motor Vehicle Repair
 - Motor Vehicle Sales and Repair
 - Recycling Depot
 - Repair Shop
 - Resource Use
 - Retail Lumber and Building Supply Yard
 - Retail of Motor Vehicle Parts and Accessories
 - Service Industry
 - Sign Shop
 - Storage Yard
 - Tool and Equipment Sales, Rentals, and Services
 - Trade School
 - Truck Depot
 - Truck, Trailer, and Heavy Equipment Sales, Rentals, and Services
 - Veterinary Clinic
 - Warehouse
 - Wholesale [BL2996, BL3083, BL3512, BL3657, BL3741, BL3754]

Minimum Lot Size

- (2) The minimum permitted lot size for the I1 zone is 1,675 m² (18,030 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the I1 zone is 30 m (98.43').

Maximum Lot Coverage

- (4) The maximum permitted lot coverage for the I1 zone is 50% of the lot area.

Minimum Setbacks

- (5) The minimum permitted setbacks for the I1 zone are as follows:
 - (a) Principal Buildings
 - Yard, Front, 8.0 m (26.25'); 18 m (59.05') when abutting a Rural or Residential Zone
 - Yard, Side, 0 m; 18 m (59.05') when abutting a Rural or Residential Zone
 - Yard, Rear, 0 m; 18 m (59.05') when abutting a Rural or Residential Zone
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 8.0 m (26.25'); 18 m (59.05') when abutting an Arterial Highway
 - Yard, Side, 0 m; 18 m (59.05') when abutting a Rural or Residential Zone
 - Yard, Rear, 0 m; 18 m (59.05') when abutting a Rural or Residential Zone
 - (c) Despite the foregoing, the minimum permitted setback for any Lot Line which abuts an Arterial Highway is 18 m (59.05').

Industrial Heavy Zone (I2)

Permitted Uses

- 77 (1) The permitted uses for the I2 zone are as follows:
- All Industrial Light Zone (I1) Permitted Uses
 - Automobile Wrecking or Salvage Yard
 - Bulk Storage of Flammable and Combustible Liquids
 - Boat Terminals and Dock
 - Cannabis Production Facility
 - Helicopter Landing Pad
 - Mobile Food Service
 - Municipal/Regional Government Offices
 - Pier, Wharf, and Related Facility
 - Private Airplane Landing Strip
 - Railway Yard
 - Recycling Industrial Use
 - Sawmills, Pulpmills, and Planing Mills
 - Slaughterhouse
 - Works Yard [BL2996, BL3000, BL3457, BL3467, BL3512, BL3657, BL3741, BL3754]

Minimum Lot Size

- (2) The minimum permitted lot size for the I2 zone is 16,000 m² (3.95 acres).

Minimum Frontage

- (3) The minimum permitted frontage for the I2 zone is 90 m (295.27').

Maximum Lot Coverage

- (4) The maximum permitted lot coverage for the I2 zone is 50% of the lot area.

Minimum Setbacks

- (5) The minimum permitted setbacks for the I2 zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 8.0 m (26.25'); 46 m (150.91') when abutting any Other Zone
 - Yard, Side, 0 m; 46 m (150.91') when abutting any Other Zone
 - Yard, Rear, 0 m; 46 m (150.91') when abutting any Other Zone
 - (b) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 8.0 m (26.25'); 46 m (150.91') when abutting any Other Zone
 - Yard, Side, 0 m; 46 m (150.91') when abutting any Other Zone
 - Yard, Rear, 0 m; 46 m (150.91') when abutting any Other Zone
 - (c) Despite the foregoing, the minimum permitted setback for any Lot Line which abuts an Arterial Highway is 18 m (59.05').
 - (d) Slaughterhouses
 - Yard, Front, 92 m (301.84')
 - Yard, Side, 92 m (301.84')
 - Yard, Rear, 92 m (301.84')

Private Institutional Zone (PI)

Permitted Uses

- 78 (1) The permitted uses for the PI zone are as follows:
- Accessory Dwelling Unit
 - Church
 - Church Camp
 - Club
 - Community Hall
 - Congregate Housing
 - Health Service
 - Independent School
 - Mobile Food Service
 - Personal Care Use [BL3160, BL3302; BL3657]

Maximum Lot Coverage

- (2) The maximum permitted lot coverage for the PI zone is 30% of the lot area.

Minimum Setbacks

- (3) The minimum permitted setbacks for the PI zone are as follows:
- (a) Principal Buildings
 - Yard, Front, 8.0 m (26.25')
 - Yard, Side, 5.0 m (16.4')
 - Yard, Rear, 5.0 m (16.4')
 - (b) Accessory Buildings
 - Yard, Front, 5.0 m (16.4')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.5 m (4.92')

Maximum Building Height

- (4) The maximum permitted building heights for the PI zone are as follows:
- (a) Principal Building, 12.0 m (39.37')
 - (b) Accessory Building, 5.0 m (16.4') [BL3038]

Conditions of Use

- (5) For Congregate Housing use, the provisions for apartment use established in the R7 or R8 zones shall apply. [BL3302]
- (6) Despite section 78 (1), "office" is a permitted use and "retail" is a permitted accessory use on 3088 Gibbins Road (PID: 006-410-481). [BL3713]

Public Use Zone (PU)

Permitted Uses

- 79 (1) The permitted uses for the PU zone are as follows:
Mobile Food Service
Public Use [BL3657]

Minimum Setbacks

- (2) There are no minimum permitted setbacks for the PU zone except:
- (a) where the lot abuts residentially-zoned land, the yard, side, or the yard, rear, shall be 8.0 m (26.25') in depth; and
 - (b) where the lot abuts an arterial highway the yard, front shall be 8.0 m (26.25').

Public Conservation Zone (PC)

Permitted Uses

- 80 (1) The permitted uses for the PC zone are as follows:
Nature Sanctuary
Nature Sanctuary Viewing Centre

Minimum Setbacks

- (2) The minimum permitted setbacks for the PC zone are as follows:
(a) Yard, Front, 10.0 m (32.8')
(b) Yard, Side, 10.0 m (32.8')
(c) Yard, Rear, 10.0 m (32.8')

Maximum Building Height

- (3) The maximum permitted building height for the PC zone is as follows:
(a) Principal and Accessory Buildings, 10.0 m (32.8')

The Cliffs Comprehensive Development Zone (CD1) [BL3242; BL3630]

Permitted Uses

- 80.1** (1) The permitted uses for Areas 1 to 3 of the CD1 zone, as shown on Schedule "D-1", attached to and forming part of this bylaw, are as follows:
- (a) in Area 1
 - (i) detached accessory dwelling unit
 - (ii) multi-family residence
 - (iii) single-family dwelling,
 - (vi) secondary suite,
 - (vii) two-family dwelling, and
 - (viii) home-based business;
 - (b) in Area 2
 - (i) single-family dwelling,
 - (ii) home-based business (in single-family dwelling only),
 - (iii) townhouse, and
 - (iv) limited home-based business;
 - (c) in Area 3, trails and open space. [BL3674]

Regulatory Conditions

- (2) The regulatory conditions in the following table apply to the CD1 zone:

Item	Column 1 Description	Column 2 Area 1	Column 3 Area 2
1	Minimum lot area	600 m ²	1100 m ²
2	Minimum frontage	18 m	30 m
3	Density	See subsection 2.1 below.	1 dwelling unit per 275 m ² of gross lot area
4	Maximum lot coverage	30 % where a lot contains one residential building and up to two dwelling units.	35 %
5	Minimum setbacks (m)		
	(1) Principal building		
	Front yard	5.0	
	Side yard	1.5	6.0
	Side yard flanking street	3.0	3.0
	Rear yard	7.5	n/a
	(2) Accessory building		8.0
	Front yard	5.0	
	Side yard	1.0	6.0
	Rear yard	1.5	1.0
	(3) Vehicle entrance from road	5.8	1.5
		10	5.8
	(4) All structures from A4 zoned		10
6	Maximum building height (m)		
	(a) Principal building	9.0	12.0

Item	Column 1 Description	Column 2 Area 1	Column 3 Area 2
	(b) Accessory building	5.0	5.0
7	Maximum habitable floors	n/a	3
8	Separation between buildings on the same lot		
	(a) Between walls with windows	n/a	6.0
	(b) Between walls without windows	n/a	4.0

- (2.1) The maximum permitted density for Area 1 of the CD1 zone is as follows:
- (a) The number of residential buildings shall not exceed one, except where the principal residential building consists of a single-family dwelling with or without a secondary suite, in which case one detached accessory dwelling unit is permitted.
 - (b) The number of dwelling units shall not exceed:
 - (i) Three in the case of lots that are less than 280 m² (3,014 sq. ft.) in area.
 - (ii) Four in the case of lots that are at least 280 m² (3,014 sq. ft.) but not more than 4,050 m² (1 acre) in area.
 - (iii) Two in the case of lots that are greater than 4,050 m² (1 acre) in area.

Landscape Open Space

- (3) In townhouse uses,
 - (a) 30% of the lot area must be provided and maintained as landscaped open space, and
 - (b) 15% of required landscaped open space must be designated and designed as outdoor recreation area.
- (4) Parking areas for townhouse uses must be screened from all adjacent uses and streets by a landscaped screen not less than 1.5 m (4.92') wide.
- (5) A landscaped area not less than 1.5 m (4.92') wide must be constructed along the entire length of a lot line that abuts a residential use.

Conditions of Use

- (6) [Repealed. BL3891]
- (7) [Repealed. BL3891]
- (8) Where a lot contains three or more dwelling units or contains a detached accessory dwelling unit the maximum permitted lot coverage in the CD1 zone is as follows:
 - (a) 35% of the lot area for lots 650 m² (7,000 sq. ft.) or larger;
 - (b) 40% of the lot area for lots less than 650 m² (7,000 sq. ft.).

General

- (9) In the event of conflict between the provisions of Part 1 to 5 of this Bylaw and the provisions of this zone, the provisions of the CD1 zone prevail.

Chemainus Quay Comprehensive Development Zone (CD2) [BL3276]

Permitted Uses

- 80.2** (1) The permitted uses for the CD2 zone are as follows:
- Apartment
 - Offices ancillary to marina use and apartment sales and management
 - Retail Store, with or without recreational equipment rentals, shower and laundry facilities for marina users.

Density

- (2) The maximum permitted residential density for the CD2 zone is fifteen apartment units, none of which may have a floor area larger than 202 m² (2174.38 sq. ft.).
- (3) Despite subsection (2), the density provisions in subsection 4 apply for the CD2 zone if the owner
- (a) constructs at the owner's expense
 - (i) a marina with at least 1,066 m (3,497') of linear moorage space in the general location shown on Schedule "E", of which 40% must be for public use,
 - (ii) nine off-street parking spaces in the area designated for public parking on Schedule "E", and
 - (iii) a 2.4 m (7.87') wide public walkway conforming to the standards in Schedule "F", attached to and forming part of this bylaw, in the location shown on Schedule "E",
 - (b) grants a statutory right-of-way, easement or other form of tenure acceptable to Council to allow the public to use the walkway at all times.
- (4) Subject to subsection (3), the maximum permitted density of all buildings and structures is as follows:
- (a) the total number of apartment units must not exceed 47;
 - (b) the gross floor area of a retail store must not exceed 279 m² (3003.23 sq. ft.);
 - (c) the maximum permitted floor space ratio is 0.75:1.
- (5) In order to achieve the density allowed by subsection (4), the owner must either
- (a) satisfy the conditions in subsection (3) before obtaining a building permit to build more than fifteen apartment units, or
 - (b) register a covenant under section 219 of the *Land Title Act*, in a form and on terms acceptable to the Council, to
 - (i) provide the amenities set out in subsection (3) by a specified date, and
 - (ii) not occupy any apartment unit in the CD2 zone until all conditions of the covenant have been met,
 - (c) provide the District security, in the form of cash or a letter of credit in an amount estimated by a professional engineer to construct the amenities set out in subsection (3), and
 - (d) grant to the District a licence to enter on the land and construct the walkway on the default of the owner to do so by the date specified in the covenant.

Maximum Lot Coverage

- (6) The maximum permitted lot coverage for the CD2 zone is 40% of the lot area.

Minimum Setbacks

- (7) Despite section 13, the following minimum permitted setbacks for the CD2 zone are as follows:
- (a) Yard, Front, 3.0 m (9.84')
 - (b) Yard, Side, 3.0 m (9.84')

- (c) Yard, Rear, 3.0 m (9.84')
- (d) Natural boundary of the sea, 0.0 m.

Maximum Building Height

- (8) The maximum permitted building height within the CD2 zone is 11.25 m (36.9').

Parking

- (9) Despite sections 17 through 23, at least 66 parking spaces are required, of which
 - (a) 19 parking spaces must be designated for visitors and general use, including 1 parking space that is designed and designated to accommodate a vehicle operated by a disabled person, and
 - (b) 14 parking spaces must be designed and designated for small cars.

Other Regulations

- (10) Land within the CD2 zone must not be subdivided other than by means of a building strata subdivision under the *Strata Property Act*.
- (11) No fences over 1.2 m (3.94') in height within the CD2 zone are permitted within 4.0 m (13.12') of the natural boundary of the sea.

80.3 [Repealed. BL3417]

Comprehensive Development Zone - Mixed Family Zone (CD4) [BL3359, BL3596]

Permitted Uses

- 80.4** (1) The permitted uses for the CD4 zone are as follows:
- Assisted Living
 - Community Care Facility
 - Community Garden
 - Detached Accessory Dwelling Unit
 - Limited Home-based Business
 - Multi-Family Residence
 - Secondary Suite
 - Single-Family Dwelling
 - Two-Family Dwelling

Minimum Lot Size

- (2) The minimum permitted lot size for the CD4 zone is 325 m² (3,498 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the CD4 zone is as follows:
- (a) 11.5 m (37.73'),
 - (b) 8.0 m (26.25') measured from the required yard, front where the lot fronts a cul-de-sac, or
 - (c) 8.5 m (27.89') measured from the required yard, front where the lot is pie-shaped and larger than 350 m² (3,767 sq. ft.).

Density

- (4) The maximum permitted density for the CD4 zone is as follows:
- (a) The number of residential buildings per lot shall not exceed one, except where the principal residential building consists of a single-family dwelling with or without a secondary suite, in which case one detached accessory dwelling unit is permitted.
 - (b) The number of dwelling units shall not exceed:
 - (i) Three in the case of lots that are less than 280 m² (3,014 sq. ft.) in area.
 - (ii) Four in the case of lots that are at least 280 m² (3,014 sq. ft.) but not more than 4,050 m² (1 acre) in area.
 - (iii) Two in the case of lots that are greater than 4,050 m² (1 acre) in area.

Maximum Lot Coverage

- (5) Where a lot contains one residential building and up to two dwelling units the maximum permitted lot coverage of the CD4 zone is as follows:
- (a) 30% of the lot area for lots of 650 m² (7,000 sq. ft.) or larger;
 - (b) 35% of the lot area for lots smaller than 650 m² (7,000 sq. ft.) but larger than 400 m² (4,305 sq. ft.); and
 - (c) 45% of the lot area for lots that are 400 m² (4,305 sq. ft.) or smaller.
- (5.1) Where a lot contains three or more dwelling units or contains a detached accessory dwelling unit the maximum permitted lot coverage in the CD4 zone is as follows:
- (a) 35% of the lot area for lots of 650 m² (7,000 sq. ft.) or larger;
 - (b) 40% of the lot area for lots smaller than 650 m² (7,000 sq. ft.) but larger than 500 m² (5,382 sq. ft.);
 - (c) 45% of the lot area for lots 500 m² (5,382 sq. ft.) or less but larger than 400 m² (4,305 sq. ft.); and
 - (d) 50% of the lot area for lots 400 m² (4,305 sq. ft.) or less.

Minimum Setbacks

- (6) The minimum permitted setbacks for the CD4 zone are as follows:
- (a) Principal Buildings, for any portion of the building under 6.5 m (21.33') in height, on lots 650 m² (7,000 sq. ft.) or smaller
 - Yard, Front, 2.4 m (6.56')
 - Yard, Front when abutting a highway 20 m in width or wider, 5.0 m (16.4')
 - Yard, Side, 1.5 m (4.92')
 - Yard, Side when adjacent to a highway, 3.0 m (9.84')
 - Yard, Rear, 2.4 m (6.56') [BL3457, BL3596]
 - (b) Principal Buildings, for any portion of the building 6.5 m (21.33') or greater in height, on lots 650 m² (7,000 sq. ft.) or smaller
 - Yard, Front, 4.5 m (14.76')
 - Yard, Front when abutting a highway 20 m in width or wider, 5.0 m (16.4')
 - Yard, Side, 1.5 m (4.92')
 - Yard, Side when adjacent to a highway, 3.0 m (9.84')
 - Yard, Rear, 6.0 m (19.68')
 - (c) Principal Buildings, on lots 650 m² (7,000 sq. ft.) or larger
 - Yard, Front, 5.0 m (16.40')
 - Yard, Side, 2.0 m (6.56')
 - Yard, Side when adjacent to a highway, 3.0 m (9.8')
 - Yard, Rear, 7.5 m (24.6')
 - (d) Accessory Buildings and Structures (Excluding Fences)
 - Yard, Front, 5.0 m (16.4')
 - Yard, Side, 1.0 m (3.28')
 - Yard, Rear, 1.0 m (3.28')
 - (e) The minimum permitted setback from the vehicle entrance of a garage or carport of a principal or accessory building to a highway or strata road is 5.8 m (19.03'). [BL3457; BL3596]

Maximum Building Height

- (7) The maximum permitted building heights for the CD4 zone are as follows:
- (a) Principal Building, 9.0 m (29.53')
 - (b) Accessory Building, 5.0 m (16.40')

Conditions of Use

- (8) The conditions of use for the CD4 zone are as follows:
- (a) [Repealed. BL3891]
 - (b) If a lane or common strata road abuts a lot, vehicular access to the lot must be from the lane.
 - (c) Assisted Living, Supportive Housing, and Community Care Facilities are permitted provided that
 - (i) they occur within a single-family dwelling unit only,
 - (ii) the number of residents does not exceed three,
 - (iii) the lot is 650 m² (7,000 sq. ft.), or larger.
 - (d) Despite Section 21 (1) a multi-family residence requires 0.75 parking spaces per dwelling unit.

Driveway Width

- (9) Driveway widths shall not exceed 3.0 m (9.80') per unit within the required yard, front of a principal building, or where it crosses a public sidewalk or trail.

Chemainus Artisan Village Comprehensive Development Zone (CD6) [BL3589]

Permitted Uses

80.6 (1) The permitted uses for Areas 1 to 5 of the CD6 zone, as shown on Schedule "H", attached to and forming part of this bylaw, are as follows:

- (a) Area 1
 - (i) Detached Accessory Dwelling Unit
 - (ii) Limited Home-based Business
 - (iii) Multi-Family Residence
 - (iv) Secondary Suite
 - (v) Single-Family Dwelling
 - (vi) Two-Family Dwelling
- (b) Area 2
 - (i) Apartment
 - (ii) Assisted Living
 - (iii) Community Care Facility
 - (iv) Community Garden
 - (v) Congregate Housing
 - (vi) Limited Home-based Business
 - (vii) Personal Care Use
 - (viii) Stacked Townhouse
 - (ix) Townhouse
- (c) Area 3
 - (i) Apartment
 - (ii) Artisan Studio
 - (iii) Daycare
 - (iv) Gallery
 - (v) Hotel Small Scale
 - (vi) Laundromat
 - (vii) Limited Home-based Business
 - (viii) Live-work Studio
 - (ix) Mixed-use Building
 - (x) Museum
 - (xi) Office (above ground floor)
 - (xii) Personal Service
 - (xiii) Professional Office (above ground floor)
 - (xiv) Recreational Facility Small Scale
 - (xv) Restaurant
 - (xvi) Retail Store
 - (xvii) Stacked Townhouse
 - (xviii) Townhouse
- (d) Areas 4 and 5
 - (i) Open Space
 - (ii) Public Use
 - (iii) Trails

Density

- (2) (a) The maximum permitted density for the CD6 zone is as follows:
 - (i) the maximum gross floor area of a laundromat is 100 m² (1,076.39 sq. ft.)
 - (ii) the maximum gross floor area of a museum is 200 m² (2,152.78 sq. ft.)
 - (iii) the maximum gross floor area of a recreation facility small scale is 200 m² (2,152.78 sq. ft.)

- (iv) the maximum gross floor area of a retail store is 200 m² (2,152.78 sq. ft.)
- (b) The minimum density of residential dwelling units per hectare is as follows:

	Area 1	Area 2
Minimum permitted density	15	25

- (c) Despite subsection (b), the density for congregate housing, assisted living and community care facility uses in Area 2 is as follows:
 - (i) three units each smaller than 30 m² (322.92 sq. ft.) is equal to one dwelling unit,
 - (ii) two units each larger than 30 m² (322.92 sq. ft.) but smaller than 60 m² (645.83 sq. ft.) is equal to one dwelling unit, and
 - (iii) a unit larger than 60 m² (645.83 sq. ft.) is equal to one dwelling unit.
- (d) The maximum permitted density in Area 1 of the CD6 zone is as follows:
 - (i) The number of residential buildings shall not exceed one, except, where the principal residential building consists of a single-family dwelling with or without a secondary suite, in which case one detached accessory dwelling unit is permitted.
 - (ii) The number of dwelling units shall not exceed:
 - a. Three in the case of lots that are less than 280 m² (3,014 sq. ft.) in area.
 - b. Four in the case of lots that are at least 280 m² (3,014 sq. ft.) but not more than 4,050 m² (1 acre) in area.
 - c. Two in the case of lots that are greater than 4,050 m² (1 acre) in area.

Parking

- (3) (a) Despite section 21, the uses in the table below have the associated off-street minimum parking requirements in the CD6 zone.

Use	Minimum Parking Requirements
Multi-Family Residential dwelling unit, no bedrooms	0.75 parking space per dwelling unit without bedrooms, and 1.0 designated visitor parking space per 8 dwelling units
Multi-Family Residential dwelling unit, one or two bedrooms	1.0 parking space per dwelling unit with one or two bedrooms, and 1.0 designated visitor parking space per 10 dwelling units
Multi-Family Residential dwelling unit, three bedrooms or more	2.0 parking spaces per dwelling unit with three or more bedrooms, and 1.0 designated visitor parking space per 15 dwelling units
Assisted Living	1.0 parking space per 3 beds, and 1.0 passenger unloading stall per 40 beds or at minimum 1 per building
Community Care Facility	1.0 parking space per 4 beds and 1.0 passenger unloading stall per 40 beds or at minimum 1 per building
Restaurant	1.0 parking space per 20 m ² used for customer circulation and seating
Retail	1.0 parking space per 46 m ² or at a minimum 1 space per individual store or shop

- (b) In addition, all required parking in the CD6 zone must meet the following:
 - (i) the size, quantity and access to parking spaces for seniors and persons with disabilities must meet or exceed the requirement of the B.C. Building Code;

- (ii) no off-street parking is permitted in the front of apartment buildings in Area 2, and no off-street parking is permitted in the front any building in Area 3;
- (iii) visitor parking may be located in off-street parking lots, or on-street in Area 1 and Area 2;
- (iv) visitor parking in Area 3 must be located off-street;
- (v) all required parking spaces must be paved, marked, numbered, curbed, illuminated, and drained;
- (vi) all parking areas must be screened from all adjacent uses and streets by a landscaped screen not less than 1.5 m (4.92 ft.) wide;
- (vii) all required parking areas must group all parking spaces in clusters of a maximum of 8 spaces with landscaping consisting of trees and shrubs between clusters, and such landscaping must be considered as meeting a portion of the required site landscaping requirements;
- (viii) sections 17 to 21 apply for all other parking requirements;
- (ix) where conflicts exist between parking requirements in sections 17 to 21, the requirements set out in this zone prevail.

Driveways

- (4) The minimum permitted setback from a vehicle entrance of a principal or accessory building to a highway or strata road, other than a lane, is 6.0 m (19.69').

Bicycle Parking Minimum Requirements

- (5) Minimum off-street bicycle parking stall requirements are as follows:

Use	Bicycle Parking Stall Class I	Bicycle Parking Stall Class II
Multi-Family (where parking is in parking lot or underground parking)	1 space per 4 dwelling units	1 space per 2.5 dwelling units
Congregate Housing, Assisted Living	1 space per 10 residential units	1 space per 10 residential units
Community Care Facility	1 space per 10 beds	1 space per 20 beds
Hotel small scale	1 space per 5 sleeping rooms	1 space per 10 sleeping rooms
Live-Work	1 space per each live-work unit	1 space per 3 live-work units
Mixed Use Building	Per individual use	Per individual use
Retail, Personal Service, Office, Professional Office, Museum, Laundromat, Artisan Studio, Gallery	1 space per 400 m ² (4,305.56 sq. ft.) (minimum 1 space)	1 space per 100 m ² (1,076.39 sq. ft.)
Restaurants	1 space per 250 m ² (2,690.98 sq. ft.) (minimum 1 space)	1 space per 100 m ² (1,076.39 sq. ft.)
Recreational Facility Small Scale	1 space per 250 m ² (2,690.98 sq. ft.) (minimum 1 space)	1 space per 25m ² (269.09 sq. ft.)
Offices	1 space per 200 m ² (2,152.78 sq. ft.) (minimum 1 space)	1 space per 100 m ² (1,076.39 sq. ft.)

Regulatory Conditions

(6) The regulatory conditions in the following table apply to:

(a) Area 1:

Description	Value
Minimum lot area	650 m ² (6,996.60 sq. ft.)
Minimum frontage	23.0 m (75.46'), except that the minimum frontage within a cul-de-sac is 6.5 m (21.33')
Maximum Lot Coverage	40%, except that where a lot is 500 m ² or less in area and contains either three or more dwelling units or a detached accessory dwelling unit, the maximum lot coverage is 45%.
Minimum Setbacks: Principal Building: - yard, front - yard, side - yard, rear - yard, driveway Accessory Building: - yard, front - yard, side - yard, rear	 4.0 m (13.12') 1.5 m (4.92') 5.0 m (16.40') 5.8 m (19.03') 5.0 m (16.40') 1.0 m (3.28') 1.0 m (3.28')
Maximum Height: - Principal Building, Two-Family Dwelling - Principal Building, other than Two-Family Dwelling - Accessory Building	 10.0 m (32.80') 9.0 m (29.53') 5.0 m (16.40')

(b) Area 2 - Multi-Family:

Description	Townhouse	Stacked Townhouse	Apartments
Minimum lot area	1,000 m ² (10,763.91 sq. ft.)	1,000 m ² (10,763.91 sq. ft.)	1,000 m ² (10,763.91 sq. ft.)
Minimum frontage	25.0 m (82.02')	25.0 m (82.02')	25.0 m (82.02')
Maximum Lot Coverage	50%	50%	50%
Minimum Setbacks: Principal Building: - yard, front (without front yard parking) - yard, front (with front yard parking) - yard, side - yard, rear - yard, rail right-of-way Accessory Building: - yard, front - yard, side - yard, rear - yard, rail right-of-way	 2.5 m (8.20') 5.8 m (19.03') 3.0 m (9.84') 4.0 m (13.12') 10.0 m (32.81') 6.0 m (19.69') 3.0 m (9.84') 5.0 m (16.40') 5.0 m (16.40')	 2.5 m (8.20') 5.8 m (19.03') 3.0 m (9.84') 4.0 m (13.12') 10.0 m (32.81') 6.0 m (19.69') 3.0 m (9.84') 5.0 m (16.40') 5.0 m (16.40')	 2.5 m (8.20') 5.0 m (16.40') 5.0 m (16.40') 10.0 m (32.81') 6.0 m (19.69') 1.5 m (4.92') 1.5 m (4.92') 5.0 m (16.40')

Description	Townhouse	Stacked Townhouse	Apartments
Maximum Eave line Height	7.0 m (22.97')	8.5 m (27.89')	11.0 (36.09')
Minimum Roof Slope	5:12	5:12	5:12
Maximum Height: Principal Building Accessory Building	9.0 m (29.52') 5.0 m (16.40')	10.0 m 32.81') 5.0 m (16.40')	14.0 m 45.93') 5.0 m (16.40')
Maximum Storeys	2.5 storeys	3.5 storeys	4.5 storeys
Minimum Building Separation	4.0 m (13.12')	4.0 m (13.12')	8.0 m (26.25')
Minimum Landscaped Open Space	25%	25%	25%
Minimum Outdoor Private Amenity Space per Dwelling Unit	7.4 m ² (79.65 sq. ft.) in area with a minimum horizontal dimension of 3.0 m (9.84')	Ground floor units: 7.4 m ² (79.65 sq. ft.) in area with a minimum horizontal dimension of 3.0 m (9.84'). Above grade units: 4.75 m ² (51.13 sq. ft.) in area with a minimum horizontal dimension of 2.0 m (6.56')	Ground floor units: 7.4 m ² (79.65 sq. ft.) in area with a minimum horizontal dimension of 3.0 m (9.84'). Above grade units: 4.75 m ² (51.13 sq. ft.) in area with a minimum horizontal dimension of 2.0 m (6.56')

(c) Area 3 - Multi-Family and Commercial:

Description	Townhouse	Stacked Townhouse	Apartment/ Mixed Use and/or Commercial Building
Minimum lot area	1,000 m ² (10,763.91 sq. ft.)	1,000 m ² (10,763.91 sq. ft.)	1,000 m ² (10,763.91 sq. ft.)
Minimum frontage	25.0 m (82.02')	25.0 m (82.02')	25.0 m (82.02')
Maximum Lot Coverage	50%	50%	50%
Minimum Setbacks: Principal Building: - yard, front (without front yard parking) - yard, front (with front yard parking) - yard, side - yard rear - yard, rail right-of-way Accessory Building: - yard, front - yard, side - yard, rear - yard, rail right-of-way	2.5 m (8.20') 5.8 m (19.03') 3.0 m (9.84') 4.0 m (13.12') 10.0 m (32.81') 6.0 m (19.69') 1.5 m (4.92') 1.5 m (4.92') 5.0 m (16.40')	2.5 m (8.20') 5.8 m (19.03') 3.0 m (9.84') 4.0 m (13.12') 10.0 m (32.81') 6.0 m (19.69') 1.5 m (4.92') 1.5 m (4.92') 5.0 m (16.40')	2.5 m (8.20') 5.0 m (16.40') 5.0 m (16.40') 10.0 m (32.81') 6.0 m (19.69') 1.5 m (4.92') 1.5 m (4.92') 5.0 m (16.40')
Maximum Eave line Height	7.0 m (22.97')	8.5 m (27.89')	11.0 m (36.09')
Minimum Height, Principal Building			9.0 m (29.53')

Description	Townhouse	Stacked Townhouse	Apartment/ Mixed Use and/or Commercial Building
Maximum Height: Principal Building Accessory Building	9.0 m (29.53') 5.0 m (16.40')	10.0 m (32.81') 5.0 m (16.40')	11.0 m (36.09') 5.0 m (16.40')
Maximum Storeys	2.5 storeys	3.5 storeys	3.5 storeys
Minimum Building Separation	4.0 m (13.12')	4.0 m (13.12')	6.0 m (19.69')
Minimum Landscaped Open Space	25%	25%	25%
Minimum Outdoor Private Amenity Space per Dwelling Unit	7.4 m ² (79.65 sq. ft.) in area with a minimum horizontal dimension of 2.4 m (7.87')	Ground floor units: 7.4 m ² (79.65 sq. ft.) in area with a minimum horizontal dimension of 3.0 m (9.84'). Above grade units: 4.75 m ² 51.13 sq. ft.) in area with a minimum horizontal dimension of 2.0 m (6.56').	4.75 m ² (51.13 sq. ft.) in area with a minimum horizontal dimension of 2.0 m (6.56').

Conditions of Use

- (7) (a) [Repealed. BL3891]
(b) [Repealed. BL3891]
(c) Area 3

The conditions of use for Area 3 are as follows:

- (i) [Repealed. BL3891]
(ii) Commercial uses that introduce or produce malodorous, toxic or noxious matters, or generate excessive vibration, heat, glare, noise, or radiation or create hazardous substances are not permitted within 20 m (65.62') of a residential dwelling unit.
(iii) A landscaped area, consisting of trees and shrubs and low fencing, not less than 1.5 m (4.92') wide must be provided along the entire length of a lot line that abuts a residential use (Area 2).
(d) Despite section 80.6 (1)(b) two-family dwelling is a permitted use at 9880 Napier Place based on the regulatory conditions of Area 1.

General

- (8) In the event of conflict between the provisions of Part 1 to 5 of this Bylaw and the provisions of this zone, the provisions of the CD6 zone prevail.

Stonehill Comprehensive Development Zone (CD7) [BL3452]

Permitted Uses

- 80.7** (1) The permitted uses for Areas A to F and 1 to 3 of the CD7 zone, as shown on Schedule "I", attached to and forming part of this Bylaw, are as follows:
(a) Area A (Coronation Lots)
(i) Assisted living
(ii) Bed and breakfast

- (iii) Community care facility
- (iv) Home-based business
- (v) Single-family dwelling
- (vi) Secondary Suite
- (vii) Supportive housing
- (b) Area B (Small Lot)
 - (i) Home-based business
 - (ii) Single-family dwelling
 - (iii) Secondary Suite
- (c) Area C, E and F (Townhouse)
 - (i) Home-based business
 - (ii) Single-family dwelling (subject to the conditions of Area D (Regular Lot) below of the CD7 zone)
 - (iii) Townhouse
- (d) Area D (Regular Lot)
 - (i) Home-based business
 - (ii) Secondary suite
 - (iii) Single-family dwelling
 - (iv) Two-family dwelling
- (e) Area 1 (Mill Site)
 - (i) Agriculture
 - (ii) Small sawmill
 - (iii) Single-family dwelling
 - (iv) Secondary Suite
- (f) Area 2 (Nature Sanctuary)
 - (i) Nature sanctuary
- (g) Area 3 (Park)
 - (i) Park

Minimum Lot Size

- (2) The minimum permitted lot sizes for the CD7 zone are as follows:
 - (a) Area A, 850 m² (9,149.32 sq. ft.);
 - (b) Area B, 325 m² (3,498.27 sq. ft.);
 - (c) Area C, 2,000 m² (21,528 sq. ft.);
 - (d) Area D, 800 m² (8,611 sq. ft.);
 - (e) Area E & F (Townhouse), 2,000 m² (21,528 sq. ft.);
 - (f) Area F & C (Single-family), 550 m² (5,920 sq. ft.);
 - (g) Area 1, 6 hectares;
 - (h) Area 2, 6 hectares;
 - (i) Area 3, 2,000 m² (21,528 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontages in the CD7 zone are as follows:
 - (a) Area A, 20.0 m (65.62');
 - (b) Area B, 11.0 m (36.09');
 - (c) Area C, 20.0 m (65.62');
 - (d) Area D, 20.0 m (65.62');
 - (e) (Area E & F (Townhouse), 20.0 m (65.62');
 - (f) Area F & C (Single-family), 15.0 m (49.21');
 - (g) Area 1, 10.0 m (32.81');
 - (h) Area 2, 10.0 m (32.81');
 - (i) Area 3, 10.0 m (32.81').

Density

- (4) The maximum permitted density for Areas A to F of the CD7 zone, combined, is 5 residential units (excluding secondary suites).
- (5) Despite the preceding subsection, the maximum permitted density for Areas A to F of the CD7 zone, combined, is 300 residential lots (excluding secondary suites), if the owner
- pays North Cowichan \$500 per lot created at the time of subdivision, to be used by North Cowichan for affordable housing,
 - enters into a housing agreement with North Cowichan before final approval of the subdivision in relation to Area B of the CD7 zone, and
 - pays North Cowichan \$1,000 per lot created in Area B at the time of subdivision, that are not subject to the housing agreement, to be used by North Cowichan for affordable housing.
- (6) The housing agreement referred to in the previous subsection must require that at least 10% of the homes in Area B of the CD7 zone are
- between 74 m² (796.53 sq. ft.) and 90 m² (968.76 sq. ft.) in size,
 - initially sold for no more than \$170,000, and
 - subsequently sold for no more than the amount set out in the housing agreement, or
 - made available for affordable rental for 25 years.
- (7) The maximum permitted density for each lot in the CD7 zone shown in the following table:

Area	Townhouse	Residential buildings	Residential units per building	Secondary suites per building	Lot coverage
A	N/A	1	2	1	30%
B	N/A	1	2	1	40%
C	1/400 m ² (1/4305.56 sq. ft.)	N/A	N/A	1	30%
D (Single-family)	N/A	1	2	1	35%
D (Two-family)	N/A	1	2	0	30%
E & F (Townhouse)	1/500 m ² (1/5381.95 sq. ft.)	N/A	N/A	0	30%
F & C (Single-family)	N/A	1	1	0	35%
1	N/A	1	2	1	600 m ² (6458.34 sq. ft.)
2	N/A	N/A	N/A	N/A	N/A
3	N/A	N/A	N/A	N/A	N/A

- (8) The minimum permitted setbacks for principal and accessory buildings in the CD7 zone are shown in the following table:

Area	Principal Buildings				Accessory Buildings		
	Front yard	Side yard	Side yard flanking street	Rear yard	Front yard	Side yard	Rear yard
A	6.0 m (19.68')	2.0 m (6.56')	3.0 m (9.84')	7.5 m (24.61')	6.0 m (19.68')	1.0 m (3.28')	1.5 m (4.92')

Area	Principal Buildings				Accessory Buildings		
	Front yard	Side yard	Side yard flanking street	Rear yard	Front yard	Side yard	Rear yard
B	4.5 m (14.76')	1.4 m (4.59')	3.0 m (9.84')	6.0 m (19.68')	5.0 m (16.40')	1.0 m (3.28')	1.0 m (3.28')
C	6.0 m (19.68')	3.0 m (9.84')	3.0 m (9.84')	6.0 m (19.68')	6.0 m (19.68')	1.0 m (3.28')	1.5 m (4.92')
D (Single-family)	6.0 m (19.68')	2.0 m (6.56')	3.0 m (9.84')	6.0 m (19.68')	6.0 m (19.68')	1.0 m (3.28')	1.0 m (3.28')
D (Two-family)	6.0 m (19.68')	2.0 m (6.56')	3.0 m (9.84')	6.0 m (19.68')	6.0 m (19.68')	1.0 m (3.28')	1.0 m (3.28')
E & F (Townhouse)	6.0 m (19.68')	3.0 m (9.84')	3.0 m (9.84')	6.0 m (19.68')	6.0 m (19.68')	1.0 m (3.28')	1.5 m (4.92')
F & C (Single-family)	6.0 m (19.68')	2.0 m (6.56')	3.0 m (9.84')	6.0 m (19.68')	6.0 m (19.68')	1.0 m (3.28')	1.0 m (3.28')
1	6.0 m (19.68')	6.0 m (19.68')	6.0 m (19.68')	6.0 m (19.68')	6.0 m (19.68')	6.0 m (19.68')	6.0 m (19.68')
2	N/A	N/A	N/A	N/A	N/A	N/A	N/A
3	N/A	N/A	N/A	N/A	N/A	N/A	N/A

- (9) The maximum permitted building heights for principal and accessory buildings in the CD7 zone are as follows:
- (a) Principal Buildings, 9.0 m (29.53');
 - (b) Accessory Buildings, 5.0 m (16.40').

Conditions of Use

- (11) The conditions of use for the CD7 zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted in Area A of the CD7 zone provided that the number of the residents does not exceed three, and the use is within a single-family dwelling unit only;
 - (e) bed and breakfast use in Area A of the CD7 zone may have no more than three sleeping units;
 - (f) bed and breakfast use in Area A of the CD7 zone is permitted within a single-family unit only;
 - (g) bed and breakfast use in Area A of the CD7 zone in a single-family dwelling must be an accessory use and shall not be the principal use;
 - (h) two-family dwellings in Area D of the CD 7 zone may only be located on corner lots.

Maple Bay School Site Comprehensive Development Zone (CD8) [BL3562]

Permitted Uses

- 80.8** (1) The permitted uses for the CD8 zone are as follows:
- Accessory Dwelling Unit
 - Assembly Hall

Fitness Centre / Gymnasium
Gallery
Mini-Warehousing
Office
Personal Service
Retail Store

Minimum Lot Size

- (2) The minimum lot size for the CD8 zone is 6,500 m² (1.61 ac).

Minimum Frontage

- (3) The minimum permitted frontage for the CD8 zone is 20 m (65.62').

Density

- (4) The maximum number of Accessory Dwelling Units permitted is two (2).

Maximum Gross Floor Area

- (5) The maximum gross floor area for the CD8 zone is 1,800 m² (19,375.04 sq. ft.) for all buildings, including a maximum of:
- (a) 225 m² (2,421.88 sq. ft.) for an Assembly Hall, Fitness Centre/Gymnasium, Gallery, or combination of Assembly Hall, Fitness Centre/Gymnasium and Gallery;
 - (b) 160 m² (1,722.23 sq. ft.) for Mini-Warehousing, or six (6) individual Mini-Warehousing units, whichever results in a lesser gross floor area;
 - (c) 105 m² (1,130.21 sq. ft.) for an Accessory Dwelling Unit; and
 - (d) 280 m² (3,013.89 sq. ft.) for a Retail Store.

Maximum Lot Coverage

- (6) The maximum permitted lot coverage for the CD8 zone is 20% of the lot area.

Minimum Setbacks

- (7) The minimum permitted setback for Principal Buildings and Accessory Buildings and Structures from any lot line in the CD8 zone is 8.0 m (26.25').

Maximum Building Height

- (8) The maximum permitted building heights for the CD8 zone are as follows:
- (a) Principal Buildings, 12.5 m (41.0')
 - (b) Accessory Buildings and Structures, 5.0 m (16.4')

Conditions of Use

- (9) All permitted uses in the CD8 zone must be fully located within the Principal Building.

Multi-Family Comprehensive Development Zone (CD9) [BL3593]

Permitted Uses

- 80.9 (1) The permitted uses for the CD9 zone are as follows:
Multi-Family Residence
Apartment

Minimum Lot Size

- (2) The minimum permitted lot size for the CD9 zone is 980 m² (10,548.63 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the CD9 zone is 18 m (59.06).

Density

- (4) The maximum permitted floor space ratio for the CD9 zone is 0.75:1

Maximum Lot Coverage

- (5) The maximum permitted lot coverage for the CD9 zone is 50%.

Setback Requirements

- (6) The minimum permitted setbacks for a principal building in the CD9 zone are as follows:
- (a) Yard, Front, 5.0 m (16.40')
 - (b) Yard, Side (internal), 1.5 m (4.92')
 - (c) Yard, Side (flanking street), 3.0 m (9.84')
 - (d) Yard, Rear, 7.5 m (24.61')

Maximum Building Height

- (7) The maximum building height for a principal building is 10 m (32.81').

Landscape Open Space

- (8) A minimum 30% of total lot area must be provided and maintained as landscaped area.

Parking Requirements

- (9) Parking spaces must be provided on-site as follows:
- (a) 1 parking space per dwelling unit with 1 bedroom,
 - (b) 1.5 parking spaces per dwelling unit with 2 bedrooms or more,
 - (c) 2 parking spaces marked and reserved for visitor parking,
 - (d) Up to 50% of the total number of spaces may be designed to accommodate small vehicles,
 - (e) Separated from building walls that contain windows by a minimum of 4.0 m (13.12').

Conditions of Use

- (10) The conditions of use for the CD9 zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Deleted. BL3958]

Urban Medium Density Comprehensive Development Zone (CD10) [BL3619, BL3672]

Permitted Uses

- 80.10** (1) The Permitted Uses for the CD10 zone are as follows:
- apartment
 - multi-family residence
 - home-based business

Minimum Lot Area

- (2) The minimum lot area required for the CD10 zone is 700 m² (7,534.74 sq. ft.)

Minimum Frontage

- (3) The minimum frontage required for the CD10 zone is 15 m (49.21').

Density

- (4) The maximum permitted floor space ratio for the CD10 zone is 1.5:1 except that parking garages located below a building are not included in the calculation of gross floor area of the building.

Setback Requirements

- (5) The minimum permitted setbacks for a principal building within the CD10 zone from any lot line is 1.5 m (4.92').

Maximum Building Height

- (6) The maximum height of a principal building is 12 m (39.37').
- (6.1) Despite section 80.10 (6), the maximum height of a principal building on 6472 Paddle Road (PID: 005-949-416) is 13 m (42.65').

Landscape Open Space

- (7) All open areas not covered by buildings, driveways, or parking must be maintained as landscaped area.

Parking Requirements

- (8) Despite section 21 (1) of this Bylaw, parking spaces must be provided on-site as follows:
- (a) 1 parking space per dwelling unit with 1 bedroom;
 - (b) 1.5 parking spaces per dwelling unit with 2 or more bedrooms;
 - (c) an additional 15% of the total number of units designated as visitor parking.
- (8.1) Despite sections 21 (1) and 80.10 (8), parking spaces must be provided on 6472 Paddle Road (PID: 005-949-416) as follows:
- (a) 1.25 parking spaces per dwelling unit, and
 - (b) an additional 15% of the total number of units designated as visitor parking.

Conditions of Use

- (9) The conditions of use for the CD10 zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [BL3693, Deleted. BL3958]
- (10) Where a lot abuts a lane, driveway access to a garage must be from the lane. [BL3693]
- (11) [Repealed; BL3693]

- (12) All ground floor residential units must provide an individual identifiable principal access point from the exterior of the building and for certainty may also have an internal or shared access if desired.
- (13) At least 240 m² of 6472 Paddle Road (PID: 005-949-416) must be designated and developed as an outdoor amenity space for residents.

Community Services (Health Care) Comprehensive Development Zone (CD11) [BL3618]

Permitted Uses

- 80.11** (1) The Permitted Uses for the CD11 zone are as follows:
- Accessory restaurant
 - Accessory retail store
 - Community care facility
 - Health service
 - Helipad
 - Hospital
 - Medical education and training
 - Office
 - Personal care use

Maximum Lot Coverage

- (2) The maximum lot coverage in the CD11 zone is 50%.

Minimum Setbacks

- (3) The minimum setbacks for the CD11 zone are as follows:
- (a) Yard, Front, 7.5 m (24.61')
 - (b) Yard, Side, 9 m (29.53')
 - (c) Yard, Rear, 30 m (9.84')

Maximum Building Height

- (4) The maximum building height in the CD11 zone is 30 m (98.43')

Minimum Open Space

- (5) A minimum of 10 m² (107.64 sq. ft.) per community care facility unit must be maintained as usable open space.
- (6) The required open space must be usable by residents of the community care facility.

Minimum Landscaping and Screening

- (7) A minimum 7.5 m (24.61') wide landscaped area must be maintained where a lot abuts residentially-zoned land, or where a lot fronts a highway, excluding the length of the frontage that accommodates an access or egress point (driveways).
- (8) All utilities, infrastructure and garbage enclosures, including heating, ventilation and air conditioning equipment and compactors, must be fully screened and landscaped and must be located outside of the minimum 7.5 m (24.61') wide landscaped areas.

Residential Two-Family Comprehensive Development Zone (CD12) [BL3614]

Permitted Uses

- 80.12** (1) The Permitted Uses for the CD12 zone are as follows:
- Assisted Living
 - Community Care Facility
 - Detached Accessory Dwelling Unit
 - Limited Home-Based Business
 - Multi-Family Residence
 - Secondary Suite
 - Single-Family Dwelling
 - Supportive Housing
 - Two-Family Dwelling

Minimum Lot Size

- (2) The minimum permitted lot size in the CD12 zone is 600 m² (6,458 sq. ft.).

Minimum Frontage

- (4) The minimum permitted frontage in the CD12 zone is as follows:
- (a) with public lane access, 13.5 m (44.29');
 - (b) without public lane access, 15.0 m (49.21')

Density

- (5) The permitted density for the CD12 zone is as follows:
- (a) The number of residential buildings shall not exceed one, except, where the principal residential building consists of a single-family dwelling with or without a secondary suite, in which case one detached accessory dwelling unit is permitted.
 - (b) The number of dwelling units shall not exceed:
 - (i) Three in the case of lots that are less than 280 m² (3,014 sq. ft.) in area.
 - (ii) Four in the case of lots that are at least 280 m² (3,014 sq. ft.) but not more than 4,050 m² (1 acre) in area.
 - (iii) Two in the case of lots that are greater than 4,050 m² (1 acre) in area.
 - (c) The size of an accessory dwelling unit must not exceed 90 m² (968.75 sq. ft.)

Maximum Lot Coverage

- (5) Where a lot contains one residential building and up to two dwelling units the maximum permitted lot coverage in the R3 zone is as follows:
- (a) 30% of the lot area for lots of 650 m² (7,000 sq. ft.) or larger; and
 - (b) 35% of the lot area for lots less than 650 m² (7,000 sq. ft.).
- (5.1) Where a lot contains three or more dwelling units or contains a detached accessory dwelling unit the maximum permitted lot coverage in the R3 zone is as follows:
- (a) 35% of the lot area for lots of 650 m² (7,000 sq. ft.) or larger;
 - (b) 40% of the lot area for lots less than 650 m² (7,000 sq. ft.) but larger than 500 m² (5,382 sq. ft.); and
 - (c) 45% of the lot area for lots 500 m² (5,382 sq. ft.) or less.

Maximum Lot Coverage

- (6) The maximum permitted lot coverage for the CD12 zone is as follows:
- (a) 40% of the lot area where a lot contains one residential building and up to two dwelling

- units.
- (b) 45% of the lot area where a lot contains three or more dwelling units or contains a detached accessory dwelling unit.

Minimum Useable Exterior Amenity Space

- (7) The useable exterior at-grade amenity space for the accessory dwelling unit must not be less than 40 m² (430.56 sq. ft.) and must be immediately adjacent to and accessible from the entry of the dwelling unit.

Minimum Setbacks

- (8) The minimum permitted setbacks for the CD12 zone are as follows:
 - (a) Principal Buildings:
 - Yard, Front, 5.0 m (16.40')
 - Yard, Side, 1.5 m (6.56')
 - Yard, Side when adjacent to a lane or highway, 3.0 m (9.84')
 - Yard, Rear, 7.5 m (24.61')
 - (b) Accessory Buildings and Structures, excluding fences:
 - Yard, Front, 5.0 m (16.40')
 - Yard, Side, 1.5 m (4.92')
 - Yard, Rear, 1.5 m (4.92')
- (9) Despite section 80.12 (8), the minimum permitted setback for principal and accessory buildings and structures from any lot line shared with Strata Lot 2, Strata Plan VIS1791 is 10 m (32.8').
- (10) The minimum permitted setback for any garage door or carport for a principal or accessory building facing a public road other than a lane is 5.8 m (19.03').

Maximum Building Height

- (11) The maximum permitted building heights for the CD12 zone are as follows:
 - (a) Principal Building, 9.0 m (29.53');
 - (d) Accessory Building, 5.0 m (16.40').

Maximum Eaveline Height

- (12) The maximum permitted eaveline height for an accessory building containing a dwelling unit is 5.5 m (18.04').

Conditions of Use

- (13) The conditions of use for the CD12 zone are as follows:
 - (a) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted provided that
 - (i) the number of residents does not exceed three, and
 - (ii) the use is within the principal building only;
 - (b) [Repealed. BL3891]
 - (c) Driveway access must be shared by both the principal building and accessory building;
 - (d) If a lane exists, all site parking must be accessed from the lane and not from the street.
 - (e) If a lane exists, all lanes must consist of a 6.0 m (19.68') wide, centre-crown, paved surface, with concrete curb and gutter on both sides of the lane, despite Schedule "B" of Bylaw 1851 [Subdivision and Control Bylaw, 1979].

Ground-Oriented Urban Residential Comprehensive Development Zone (CD13) [BL3622]

Permitted Uses

- 80.13** (1) The Permitted Uses for the CD13 zone are as follows:
- Townhouse
 - Limited Home-based Business
 - Single-Family Dwelling
 - Two-Family Dwelling

Minimum Lot Size

- (2) The minimum permitted lot size for the CD13 zone is 650 m² (6,996.54 sq. ft.)

Minimum Frontage

- (3) The minimum frontage required for the CD13 zone is 15 m (49.21').

Density

- (4) The maximum permitted density for the CD13 zone is as follows:
- (a) one dwelling unit per 160 m² (1,722 sq. ft.) of lot area,
 - (b) the maximum permitted floor space ratio for the CD13 zone is 0.5:1.

Maximum Lot Coverage

- (5) The maximum permitted lot coverage, including covered parking, for the CD13 zone is 35% of the lot area.

Minimum Setbacks

- (6) The minimum permitted setbacks for principal buildings, accessory buildings and structures, excluding fences, for the CD13 zone are as follows:
- (a) Yard, Front, 3 m (9.84')
 - (b) Yard, Side, 1.5 m (4.92')
 - (c) Yard, Side when adjacent to a highway, 3.0 m (9.84')
 - (d) Yard, Rear, 4 m (13.12')

Maximum Building Height

- (7) The maximum permitted building heights for the CD13 zone are as follows:
- (a) principal buildings, 9 m (29.53')
 - (b) accessory buildings, 5 m (16.40')

Landscaped Open Space

- (8) In the CD13 zone, 30% of the lot area must be maintained as landscaped open space.

Conditions of Use

- (9) The conditions of use for the CD13 zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) [Deleted, BL3958]
 - (e) All dwelling units must have a private, at-grade exterior entrance;
 - (f) Single-family dwellings must have either a flat roof or a pitched roof with a minimum pitch of 12:12;
 - (g) Two-family dwellings and townhouses must have either a flat roof or a pitched roof with a minimum pitch of 5:12.

University Village Mid-Rise Residential Comprehensive Development Zone (CD14) [BL3656]

Permitted Uses

- 80.14** (1) The permitted uses for the CD14 zone are as follows:
- Apartment
 - Congregate Housing
 - Limited Home-based Business
 - Multi-Family Residence

Minimum Lot Size

- (2) The minimum permitted lot size for the CD14 zone is 450 m² (4,844 sq. ft.).

Minimum Frontage

- (3) The minimum permitted frontage for the CD14 zone is 15 m (49.21').

Density

- (4) The maximum permitted floor space ratio for the CD14 zone is 3:1.

Maximum Lot Coverage

- (5) The maximum permitted lot coverage, including covered parking, for the CD14 zone is 70% of the lot area.

Minimum Setbacks

- (6) The minimum permitted setbacks for principal buildings, for the CD14 zone, are as follows:
- (a) Yard, Front, 3 m (9.84')
 - (b) Yard, Side, 1.5 m (4.92')
 - (c) Yard, Rear, 4 m (13.12')
- (6.1) Despite section 80.14 (6), the minimum permitted setbacks for principal buildings at Lots 1 and 2, Block 6, Section 18, Range 7, Quamichan District, Plan VIP1427 (2511 Dingwall Street, PID: 007-471-670, and Howard Avenue PID: 002-063-034, respectively), are as follows:
- (a) Yard, Front, 0 m (0')
 - (b) Yard, Side, 1.5 m (4.92')
 - (c) Yard, Side, when adjacent to a street, 0 m (0')
 - (d) Yard, Rear, 2 m (6.56') [BL3660]

Maximum Building Height

- (7) The maximum permitted building height for principal buildings, for the CD14 zone, is 17.5 m (57.4'), and five (5) storeys.

Off-Street Parking

- (8) The maximum number of off-street parking spaces is 1.5 spaces per dwelling unit.
- (9) Despite section 21 (7) of this Bylaw, a minimum of 1 off-street parking space per dwelling unit is required at 2533 Lewis Street.

Conditions of Use

- (10) The conditions of use for the CD14 zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891] (C) [Deleted. BL3958]

Mixed Use Residential Zone (CD15) [BL3645]

Permitted Uses

- 80.15** (1) The permitted uses for Areas A and B of the CD15 zone, as shown on Schedule "L", attached to and forming part of this bylaw, are as follows:
- (a) in Area A
 - limited home-based business
 - multi-family residence
 - (b) in Area B
 - apartment
 - community hall
 - congregate housing
 - health service
 - limited home-based business
 - mixed-use building
 - office
 - personal care use

Minimum Lot Size

- (2) The minimum permitted lot size for the CD15 zone is 650 m² (6,996.54 sq. ft.)

Minimum Frontage

- (3) The minimum frontage required for the CD15 zone is 15 m (49.21').

Density

- (4) The maximum permitted floor space ratio for the CD15 zone is as follows:
- (a) 1:1 for Area A, and
 - (b) 3:1 for Area B, except that parking garages located below a building on Area A or Area B are not included in the calculation of gross floor area.

Maximum Lot Coverage

- (5) The maximum permitted lot coverage, including covered parking, for the CD15 zone is as follows:
- (a) 50% of the lot area for Area A, and
 - (b) 75% of the lot area for Area B.

Minimum Setbacks

- (6) The minimum permitted setbacks for principal buildings, accessory buildings and structures, excluding fences, for the CD15 zone are as follows:

Yard	Area A	Area B
Front	3 m (9.84')	4 m (13.12')
Side (Interior)	1.5 m (4.92')	3 m (9.84')
Side (Exterior)	3 m (9.84')	3 m (9.84')
Rear	4 m (13.12')	1.5 m (4.92')

Maximum Building Height

- (7) The maximum permitted principal building height for the CD15 zone is as follows:
- (a) 12 m (39.37') for Area A

(b) 15 m (49.21') for Area B

(8) The maximum permitted accessory building height for the CD15 zone is 5 m (16.40').

Landscaped Open Space

(9) All open areas not covered by buildings, driveways, or parking must be maintained as landscaped area.

Parking Requirements

(10) Despite section 21 (1) of this Bylaw, parking spaces must be provided as follows:

- (a) in Area A, 1.5 parking spaces per dwelling unit plus 15% of the total number of required parking spaces designated as visitor parking, and
- (b) in Area B, 0.5 parking spaces per dwelling unit plus 1 space per 100 m² gross floor area of all other uses, which can be located on an adjoining parcel where secured by covenant or easement.

Conditions of Use

(11) The conditions of use for the CD15 zone are as follows:

- (a) [Repealed. BL3891]
- (b) [Repealed. BL3891];
- (c) [Repealed. BL3891]
- (d) [Deleted. BL3958]

Mixed Use Commercial Core Zone (CD16) [BL3646]

Permitted Uses

80.16 (1) The permitted uses for the CD16 zone are as follows:

- apartment
- assembly hall
- commercial school
- community hall
- congregate housing
- limited home-based business
- mixed-use building
- multi-family residence
- office
- retail store

Minimum Lot Size

(2) The minimum permitted lot size for the CD16 zone is 650 m^2 (6,996.54 sq. ft.)

Minimum Frontage

(3) The minimum frontage required for the CD16 zone is 15 m (49.21').

Density

(4) The maximum permitted floor space ratio for the CD16 zone is 2.5:1.

Maximum Lot Coverage

(5) The maximum permitted lot coverage for the CD16 zone is 100%.

Maximum Building Height

(6) The maximum permitted building height for the CD16 zone is as follows:

- (a) principal building, 15 m (49.21')
- (b) accessory building, 5 m (16.40').

Parking Requirements

(7) Despite section 21 (1) of this Bylaw, parking spaces must be provided as follows:

- (a) 1 parking spaces per 3 dwelling units, and
- (b) 0 parking spaces for all other uses.

Congregate Housing Comprehensive Development Zone (CD17) [BL3667]

Permitted Uses

80.17 (1) The permitted uses for the CD17 zone are as follows:

- Apartment
- Community Care Facility
- Congregate Housing
- Mixed Use Building
- Multi-Family Residence

(2) The permitted accessory uses for the CD17 zone are as follows:

- Community Hall
- Entertainment Use
- Hairdresser
- Health Service
- Limited Home-based Business
- Office
- Personal Care Use
- Restaurant
- Retail Store

Minimum Lot Size

(3) The minimum permitted lot size for the CD17 zone is 650 m² (6,996.54 sq. ft.).

Minimum Frontage

(4) The minimum required frontage for the CD17 zone is 15 m (49.21').

Density

(5) The maximum permitted density for the CD17 zone is as follows:

- (a) One dwelling unit is permitted per 160 m² (1,722.23 sq. ft.) of lot area for a townhouse.
- (b) The maximum permitted floor space ratio is 2.75:1, except that a parking garage located below a building is not included in the calculation of gross floor area of the building.

Maximum Lot Coverage

(6) The maximum permitted lot coverage, including covered parking, for the CD17 zone is 55% of the lot area.

Minimum Setbacks

(7) The minimum permitted setbacks for principal buildings, apartments, townhouses, multi-use buildings, accessory buildings and structures in the CD17 zone are as follows:

- (a) Yard, Front, 5.0 m (16.40')
- (b) Yard, Side (internal), 2.0 m (6.56')
- (c) Yard, Rear, 5.0 m (16.40')
- (d) Setback, Front for vehicle entrance of a carport from the common strata 5.8 m (19.03')

Maximum Building Height

- (8) The maximum permitted building height in the CD17 zone for
 - (a) a principal building is 18.0 m (59.05')
 - (b) an accessory building is 5.0 m (16.40')

Landscaped Open Space

- (9) In the CD17 zone, all open areas not covered by buildings, driveways, or parking must be maintained as landscaped areas.

Conditions of Use

- (10) The conditions of use for the CD17 zone are as follows:
 - (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) [Repealed. BL3891]
 - (d) [Deleted. BL3958]

Kingsview Comprehensive Development Zone (CD18) [BL3631]

Permitted Uses

80.18 (1) The permitted uses for Areas 1 to 6 of the CD18 zone, as shown on Schedule "D-2", attached to and forming part of this bylaw, are as follows:

- (a) in Area 1
 - (i) detached accessory dwelling unit;
 - (ii) multi-family residence;
 - (ii) single-family dwelling;
 - (iii) two-family dwelling;
 - (iv) home-based business;
 - (v) secondary suite;
- (b) in Area 2
 - (i) detached accessory dwelling unit;
 - (ii) multi-family residence;
 - (iii) secondary suite;
 - (iv) single-family dwelling;
 - (v) two-family dwelling;
 - (vi) home-based business;
- (c) in Area 3
 - (i) townhouse;
 - (ii) limited home-based business;
- (d) in Area 4
 - (i) multi-family dwellings;
 - (ii) limited home-based business;
- (e) in Area 5
 - (i) multi-family dwelling;
 - (ii) mixed used building;
 - (iii) limited home-based business;
- (f) in Area 6
 - (i) parks and open space;
 - (ii) playground and playground equipment;
 - (iii) parking for park users;
 - (iv) identity signs and trailhead shelter/gazebo;
 - (v) community gardens;
 - (vi) detention ponds and associated stormwater infrastructure;
 - (vii) trails;
 - (viii) miscellaneous outdoor recreation equipment.

Regulatory Conditions

(2) The regulatory conditions in the following table apply to the CD18 zone:

Item	Column 1 Description	Column 2 Area	Column 3 Value
1	Minimum lot area	1	650 m ²
		2	325 m ²
		3	1 100 m ²
		4	1 100 m ²
		5	1 100 m ²
2	Maximum lot coverage	1	35%

Item	Column 1 Description	Column 2 Area	Column 3 Value
		2	50%
		3	40%
		4	40%
		5	50%
		1 & 2	(a) The number of residential buildings shall not exceed one, except, where the principal residential building consists of a single-family dwelling with or without a secondary suite, in which case one detached accessory dwelling unit is permitted.
			(b) The number of dwelling units shall not exceed:
			(i) Three in the case of lots that are less than 280 m ² (3,014 sq. ft.) in area.
			(ii) Four in the case of lots that are at least 280 m ² (3,014 sq. ft.) but not more than 4,050 m ² (1 acre) in area.
			(iii) Two in the case of lots that are greater than 4,050 m ² (1 acre) in area.
3	Maximum Density	3	0.75 Floor Area Ratio (37 units/ha)
		4	1.2 Floor Area Ratio (54 units/ha)
		5	1.2 Floor Area Ratio (54 units/ha and 500 m ² commercial)
	Principal building minimum setbacks		
4	Front yard	1	5 m
	Rear yard		7 m
	Side yard		1.5 m
	Side yard flanking street		3 m
	Principal building minimum setbacks		
5	Front yard	2	5 m
	Rear yard		6 m
	Side yard		1.25 m
	Side yard flanking street		3 m
	Principal building minimum setbacks		
6	Front yard	3 & 4	6 m
	Rear yard		8 m
	Side yard		5 m
	Side yard flanking street		5 m
	Principal building minimum setbacks		
7	Front yard	5	3 m

Item	Column 1 Description	Column 2 Area	Column 3 Value
	Rear yard		5 m
	Side yard		3 m
	Side yard flanking street		5 m
8	Minimum lot frontage	1	15 m
		2	11 m
		3	30 m
		4	30 m
		5	30 m
9	Maximum building height	1	9 m
		2	9 m
		3	12 m
		4	15 m
		5	15 m

Accessory Buildings

- (3) The maximum height of an accessory building is 6 m.
- (4) Accessory buildings must be located behind the front lot line of the principal building and sited no less than 1 m from the side or rear property line.

Landscaped Areas and Impervious Spaces

- (5) In all areas, a minimum of 30% of the lot must be landscaped or covered with ground absorbing, pervious materials.

Conditions of Use

- (6) [Repealed. BL3891]
- (7) [Repealed. BL3891]
- (7.1) Despite the definition of 'townhouse' under section 12, a maximum of 15% of the total units in the form of a 'two-family dwelling' is permitted on 1234 Viewtop Road (PID: 031-048-382) ^[BL3875]
- (7.2) Despite Section 21 (1) in Area 2 of the CD18 zone, a multi-family residence requires 0.75 parking spaces per dwelling unit.

General

- (8) In the event of conflict between the provisions of Part 1 to 5 of this Bylaw and the provisions of this zone, the provisions of the CD18 zone prevail.

Permitted Uses

- 80.18.1** (1) The permitted uses for Areas 1 to 6 of the CD18-R zone, as shown on Schedule “D-2”, attached to and forming part of this bylaw, are as follows:
- (g) in Area 1
 - (i) single-family dwelling;
 - (ii) home-based business;
 - (iii) accessory dwelling unit, coach house or secondary suite;
 - (h) in Area 2
 - (i) single-family dwelling;
 - (ii) home-based business;
 - (iii) secondary suite;
 - (i) in Area 3
 - (i) townhouse;
 - (ii) limited home-based business;
 - (j) in Area 4
 - (i) multi-family dwellings;
 - (ii) limited home-based business;
 - (k) in Area 6
 - (i) parks and open space;
 - (i) playground and playground equipment;
 - (ii) parking for park users;
 - (iii) identity signs and trailhead shelter/gazebo;
 - (iv) community gardens;
 - (v) detention ponds and associated stormwater infrastructure;
 - (vi) trails;
 - (vii) miscellaneous outdoor recreation equipment.

Regulatory Conditions

(2) The regulatory conditions in the following table apply to the CD18-R zone:

Item	Column 1 Description	Column 2 Area	Column 3 Value
1	Minimum lot area	1	650 m ²
		2	325 m ²
		3	1 100 m ²
		4	1 100 m ²
2	Maximum lot coverage	1	35%
		2	50%
		3	40%
		4	40%

3	Maximum Density	1	0.5 Floor Area Ratio
		2	0.6 Floor Area Ratio (30 units/ha)
		3	0.75 Floor Area Ratio (22 units/ha)
		4	1.2 Floor Area Ratio (54 units/ha)
4	Principal building minimum setbacks		
	Front yard	1	5 m
	Rear yard		7 m
	Side yard		1.5 m
	Side yard flanking street		3 m
5	Principal building minimum setbacks		
	Front yard	2	5 m
	Rear yard		6 m
	Side yard		1.25 m
	Side yard flanking street		3 m
6	Principal building minimum setbacks		
	Front yard	3 & 4	6 m
	Rear yard		8 m
	Side yard		5 m
	Side yard flanking street		5 m
8	Minimum lot frontage	1	15 m
		2	11 m
		3	30 m
		4	30 m
9	Maximum building height	1	9 m
		2	9 m
		3	12 m
		4	15 m

Accessory Buildings

- (3) The maximum height of an accessory building is 6 m.
- (4) Accessory buildings must be located behind the front lot line of the principal building and sited no less than 1 m from the side or rear property line.

Landscaped Areas and Impervious Spaces

- (5) In all areas, a minimum of 30% of the lot must be landscaped or covered with ground absorbing, pervious materials.

General

- (6) In the event of conflict between the provisions of Part 1 to 5 of this Bylaw and the provisions of this zone, the provisions of the CD18-R zone prevail.

Permitted Uses

80.19 (1) The permitted uses for Areas 1 and 2 of the CD19 zone, as shown on Schedule I-2, attached to and forming part of this Bylaw, are as follows:

- (a) in Area 1:
 - (i) Artisan Studio;
 - (ii) Assembly Hall;
 - (iii) Brew Pub;
 - (iv) Commercial School;
 - (v) Commercial Use;
 - (vi) Daycare;
 - (vii) Dry Cleaner;
 - (viii) Entertainment Use;
 - (ix) Fitness Centre / Gymnasium;
 - (x) Gallery;
 - (xi) Health Service;
 - (xii) Hotel;
 - (xiii) Laundromat;
 - (xiv) Live-Work Studio;
 - (xv) Medical Laboratory;
 - (xvi) Microbrewery;
 - (xvii) Mixed Use Building;
 - (xviii) Personal Service;
 - (xix) Restaurant;
 - (xx) Veterinary Clinic.

- (b) in Area 2, principal uses:
 - (i) Congregate Housing;
 - (ii) Mixed Use Building;
 - (iii) Multi-Family Residence.

- (c) in Area 2, accessory uses:
 - (i) Assembly Hall;
 - (ii) Commercial Use;
 - (iii) Daycare;
 - (iv) Entertainment Use;
 - (v) Personal Care Use;
 - (vi) Personal Service;
 - (vii) Restaurant.

Minimum Lot Size

(2) The minimum permitted lot size for the CD19 zone is 600 m² (6,458 ft²).

Minimum Lot Frontage

(3) The minimum permitted lot frontage for the CD19 zone is 15 m (49.21 ft).

Density

(4) The maximum permitted floor space ratio for the CD19 zone is 3:1, except that parking garages located below a building are not included in the calculation of gross floor area of the building.

Setback Requirements

- (5) The minimum permitted setbacks for the CD19 zone from any lot line are as follows:
 - (a) in Area 1, 0 m;
 - (b) in Area 2, 3 m, except that the minimum setback from any lot line that adjoins the dike is 45 m.

Maximum Building Height

- (6) The maximum permitted principal building height in the CD19 zone is 26 m (85.3 ft) and 6 storeys.

Off-Street Parking

- (7) Despite section 21 of this Bylaw, the minimum number of off-street parking spaces for the CD19 zone is as follows:
 - (a) Congregate Housing, 1 space per 4 residents;
 - (b) Multi-Family Residence, 1 space per dwelling unit;
 - (c) Restaurant, Brew Pub, Microbrewery, 1 space per 5 seats;
 - (d) Commercial Use, 1 space per 30 m² gross floor area.

The Commons Comprehensive Development Zone (CD20) [BL3716]

Permitted Uses

80.20 (1) The permitted uses for the CD20 zone are as follows:

- accessory dwelling unit
- assembly hall
- detached accessory dwelling unit
- limited home-based business
- multi-family residence
- secondary suite
- single family dwelling
- two family dwelling

Minimum Lot Size

(2) The minimum permitted lot size for the CD20 zone is 275 m².

Minimum Lot Frontage

(3) The minimum permitted lot frontage for the CD20 zone is 10 m.

Density

(4) The maximum permitted density for the CD20 zone is as follows:

- (a) The number of residential buildings shall not exceed one, except, where the principal residential building consists of a single-family dwelling with or without a secondary suite, in which case one detached accessory dwelling unit is permitted.
- (b) The number of dwelling units shall not exceed:
 - (i) Three in the case of lots that are less than 280 m² (3,014 sq. ft.) in area.
 - (ii) Four in the case of lots that are at least 280 m² (3,014 sq. ft.) but not more than 4,050 m² (1 acre) in area.
 - (iii) Two in the case of lots that are greater than 4,050 m² (1 acre) in area.

(6) Despite subsection (4), a maximum total of 7 accessory dwelling units or detached accessory dwelling units are permitted for a lot that contains an assembly hall.

(7) The maximum number of dwelling units for a building strata is subject to the maximum permitted density for the CD20 zone.

Maximum Lot Coverage

- (8) The maximum permitted lot coverage for the CD20 zone is 45% of the lot area except that where:
- (i) the lot is less than 400 m²; and
 - (ii) the lot contains three or more dwelling units or contains a detached accessory dwelling unit,
 - (iii) the maximum permitted lot coverage is 50%.

Minimum Setbacks

(9) The minimum permitted setbacks for principal buildings in the CD20 zone are as follows:

- (a) Yard, Front, 4.0 m
- (b) Yard, Front (Garage), 6.0 m
- (c) Yard, Side (Interior), 1.5 m
- (d) Yard, Side (Exterior), 2.0 m
- (e) Yard, Side (for lot line separating units within a duplex with partywall agreement), 0 m

- (f) Yard, Rear (when adjoining greenspace), 4.5 m
 - (g) Yard, Rear (when adjoining another lot), 6 m
 - (h) Yard, 8 m from the urban containment boundary
 - (i) Yard, 20 m from the Agricultural Land Reserve boundary
- (10) The minimum permitted setbacks for accessory buildings and structures in the CD20 zone are as follows:
- (a) Yard, Front, 4.0 m
 - (b) Yard, Front (Garage), 6.0 m
 - (c) Yard, Side, 1.0 m
 - (d) Yard, Rear, 1.0 m

Maximum Building Height

- (11) The maximum permitted building heights in the CD20 zone are as follows:
- (a) principal building, 9.0 m
 - (b) accessory building, 5.0 m

Conditions of Use

- (12) The conditions of use for the CD20 zone are as follows:
- (a) [Repealed. BL3891]
 - (b) [Repealed. BL3891]
 - (c) A bare land strata development may contain a maximum of
 - (i) 1 assembly hall, and
 - (ii) 7 accessory dwelling units or detached accessory dwelling units.
 - (d) Despite Section 21 (1) a multi-family residence requires 0.75 parking spaces per dwelling unit.

Motorsport Circuit Comprehensive Development Zone (CD21) [BL3761]

Permitted Uses

80.21 (1) The permitted uses in the CD21 zone are as follows:

- Accessory Building
- Accessory Fueling Installation
- Accessory Restaurant
- Accessory Use
- Assembly Hall
- Fitness Centre/Gymnasium
- Go-kart Use
- Motion Picture and Television Filming
- Motor Vehicle Autobody Repair
- Motor Vehicle Parts and Accessories Sales
- Motor Vehicle Presentation Centre
- Motor Vehicle Repairs
- Motor Vehicle Sales
- Motor Vehicle Storage Yard
- Motor Vehicle Testing and Driver Training Facility
- Recreation Area
- Warehouse

Minimum Lot Size

(2) The minimum lot size for the CD21 zone is 2.5 ha.

Minimum Frontage

(3) The minimum permitted frontage for the CD21 zone is 30 m (98.43').

Maximum Lot Coverage

(4) The maximum permitted lot coverage for the CD21 zone is 50% of the lot area.

Maximum Floor Space Ratio of All Buildings and Structures

(5) The maximum permitted floor space ratio for the CD21 zone is 0.5:1.

Minimum Setbacks

(6) The minimum setbacks for all buildings are as follows:

- Front yard - 6 m (19.7'); 18 m (59') from an arterial highway
- Side yard - 3m (9.8')
- Rear yard - 6m (19.7')

Maximum Building Height

(5) The maximum building height for the CD21 zone is 15 m (49.2').

Paddle Road North Comprehensive Development Zone (CD22) [BL3867]

Permitted Uses

- 80.22** (1) The permitted uses for Areas 1 to 5 of the CD22 zone, as shown on Schedule I-3, attached to and forming part of this bylaw, are as follows:
- a) In Area 1
 - i. Apartment
 - ii. Limited home-based business
 - b) In Area 2
 - i. Apartment
 - ii. Limited home-based business
 - iii. Recreational facility small scale
 - iv. Fitness Centre / Gymnasium
 - c) In Area 3
 - i. Apartment
 - ii. Limited home-based business
 - iii. Community care facility
 - iv. Live work studio
 - v. Brew Pub
 - vi. Commercial school
 - vii. Daycare
 - viii. Dry cleaner
 - ix. Entertainment use
 - x. Fitness Centre / Gymnasium
 - xi. Gallery
 - xii. Health service
 - xiii. Laundromat
 - xiv. Medical laboratory
 - xv. Office
 - xvi. Personal service
 - xvii. Restaurant
 - xviii. Retail store
 - d) In Area 4
 - i. Limited home-based business
 - ii. Two family dwelling
 - iii. Townhouse
 - e) In Area 5
 - i. Uses in Area 5 are the same as Area 3.

Regulatory Conditions

(2) The regulatory conditions in the following table apply to the CD22 zone:

Item	Column 1 Description	Column 2 Area	Column 3 Value
1	Maximum density	1 2 3 4 5	2.0 Floor Area Ratio 1.5 Floor Area Ratio 3.5 Floor Area Ratio 0.5 Floor Area Ratio (63 units/ha) 2.0 Floor Area Ratio
2	Maximum Area coverage	1 2 3 4 5	65% 55% 55% 30% 65%
3	Maximum storeys	1 2 3 4 5	6-storeys 6-storeys 6-storeys 3-storeys 5-storeys
4	Maximum building height	1 2 3 4 5	26 m (85.3') 26 m (85.3') 26 m (85.3') 12 m (39.4') 21.5 m (71')

Minimum Lot Size

(3) The minimum permitted lot size for the CD22 zone is 650 m² (6,996.54 ft²).

Minimum Frontage

(4) The minimum permitted frontage required for the CD22 zone is 16 m (52.5').

Minimum Setbacks

(5) The minimum permitted setbacks for all buildings and structures for all Areas of the CD22 zone is 3.0 m (9.8').

Accessory Building

(6) The maximum permitted accessory building height for all Areas of the CD22 Zone is 7 m (23.0').

Open Space

- (7) All open areas not covered by buildings, driveways, or parking must be maintained as landscaped open space.
- (8) The minimum required amenity space for all Areas of the CD22 Zone, and of which half must be comprised of landscaped open space, is 30% of the Area and may be located on the roof and/or on decks above grade.

Off-Street Parking

- (9) A minimum of 90% of off-street parking required in accordance with Section 21 shall be provided underground.

Conditions of Use

- (10) The conditions of use for the CD22 Zone are as follows:
 - a) A fence must not exceed 1.2m (3.94') in height in any required front yard.
 - b) A fence must not exceed 2.0m (6.56') in height in any required side or rear yards.
 - c) Despite 80.22 (1) permitted uses, "live work studio" is restricted to the ground floor, whereby each live work studio entrance must face a public roadway.
 - d) In Area 3 permitted uses v. to xviii are restricted to the ground floor and whereby a minimum of 15% of the ground floor area shall be for permitted uses v. to xviii.
 - e) In Area 5 permitted uses v. to xviii are restricted to the ground floor, whereby a minimum of 30% of the ground floor area shall be for permitted uses v. to xviii.
 - f) No residential dwelling unit shall have a floor area less than 350 ft² (32.5 m²).

Area Boundaries

- (11) The Areas and Area boundaries for the CD22 zone shall be as set out in Schedule I-3.
- (12) Despite the definition of "lot" under section 12, all regulations within the CD22 zone, except provisions (3) and (4), shall be interpreted as if the Area boundaries were lot boundaries."

Ford Road South Comprehensive Development Zone (CD23) [BL3868]

Permitted Uses

- 80.23** (1) The permitted uses for Area 1 and Area 2 of the CD23 zone, as shown on Schedule I-4, attached to and forming part of this bylaw, are as follows:

Apartment
Limited home-based business

Minimum Lot Size

- (2) The minimum permitted lot size for the CD23 zone is 650 m² (6,996.5 ft²).

Minimum Frontage

- (3) The minimum permitted frontage required for the CD23 zone is 16 m (52.5').

Maximum Density

- (4) The maximum permitted floor space ratio for all Areas of the CD23 zone is 2.0:1.

Maximum Lot Coverage

- (5) The maximum permitted lot coverage for all Areas of the CD23 zone is 55%.

Minimum Setbacks

- (6) The minimum permitted setbacks for all buildings and structures for all Areas of the CD23 zone is 3.0 m (9.8').

Maximum Building Height

- (7) The maximum permitted principal building height for all Areas of the CD23 zone is as follows:

- (a) In Area 1, 18.3 m (60.0') and 5 storeys
- (b) In Area 2, 15.6 m (51.2') and 4 storeys

- (8) The maximum permitted accessory building height for all Areas of the CD23 zone is 7 m (23.0').

Open Space

- (9) All open areas not covered by buildings, driveways, or parking must be maintained as landscaped open space.

Conditions of Use

- (10) The conditions of use for the CD23 Zone are as follows:
- (a) In Area 1, 100% of all dwelling units shall have a form of tenure that is "residential rental tenancy".
 - (b) In Area 1, a minimum of 55% of the total off-street parking stalls must be provided underground.
 - (c) In Area 2, a minimum of 64% of the total off-street parking stalls must be provided underground.

Area Boundaries

- (11) The Areas and Area boundaries for the CD23 zone shall be as set out in Schedule I-4.
- (12) Despite the definition of "lot" under section 12, all regulations within the CD23 zone, except provisions (2) and (3), shall be interpreted as if the Area boundaries were lot boundaries.

Village Residential Infill Comprehensive Development Zone (CD24) [BL3920]

Permitted Uses

- 80.24** (1) The permitted uses for the CD24 zone are:
Multi-family residence

Minimum Lot Size

- (2) The minimum permitted lot size for the CD24 zone is 450 m² (4,843.7 ft²).

Minimum Frontage

- (3) The minimum permitted frontage required for the CD24 zone is 15 m (49.2').

Density

- (4) The permitted density for the CD24 zone is as follows:
(a) Minimum site area per dwelling unit is 54 m² (584.3 ft²)
(b) Maximum permitted floor space ratio is 1.5:1

Minimum Setbacks

- (5) The minimum permitted setbacks for all buildings and structures for the CD24 zone are:
Yard, Front, 3.0 m (9.84')
Yard, Side, 1.5m (4.92')
Yard Side when adjacent to a lane or street, 3.0 m (9.84')
Yard, Rear, 7.5m (24.61')
Garage doors from any side or front property line, 5.8m (19.03')

Maximum Building Height

- (6) The maximum permitted building heights for the R3-MF zone are as follows:
(a) Principal Building, 10.0 m (32.81')
(b) Accessory Building, 5.0 m (16.40')

Open Space

- (7) All open areas not covered by buildings, driveways, or parking must be maintained as landscaped open space.
- (8) The minimum required amenity space for the CD24 zone is 30% of the lot area, of which half must be comprised of landscaped open space and the remainder may be located on the roof and/or on decks above grade.

Conditions of Use

- (9) The conditions of use for the CD24 Zone are as follows:
(a) No residential dwelling unit shall have a floor area less than 350 ft² (32.5 m²).

Gilana Place Two-Family Detached Comprehensive Development Zone (CD25)

Permitted Uses

- 80.25** (1) The permitted uses for the CD25 zone are as follows:
- Assisted Living
 - Community Care Facility
 - Detached Accessory Dwelling Unit
 - Limited Home-Based Business
 - Multi-Family Residence
 - Secondary Suite
 - Single-Family Dwelling
 - Supportive Housing

Minimum Lot Size (See Figure 1 below)

- (2) The minimum permitted lot size for the R3-CH zone is as follows:
- (a) with public lane access, 500 m² (5,381.96 sq. ft.)
 - (b) without public lane access, 625 m² (6,727.44 sq. ft.)
 - (c) without public lane access, with common driveway shared with abutting lot, 560 m² (6,027.79 sq. ft.)

Maximum Lot Size

- (3) The maximum permitted lot size, for a subdivision of 3 lots or more, for the R3-CH zone is 750 m² (8,072.93 sq. ft.).

Minimum Frontage (See Figure 1 below)

- (4) The minimum permitted frontage for the R3-CH zone is as follows:
- (a) with public lane access, 13.5 m (44.30')
 - (b) without public lane access, 16.5 m (54.13')
 - (c) without public lane access, with common driveway shared with abutting lot, 15.0 m (49.21')

Density

- (5) The permitted density for the CD25 zone is as follows:
- (a) The number of residential buildings shall not exceed one, except, where the principal residential building consists of a single-family dwelling with or without a secondary suite, in which case one detached accessory dwelling unit is permitted.
 - (b) The number of dwelling units shall not exceed four.
 - (d) The size of a detached accessory dwelling unit must not be
 - (i) smaller than 37 m² (398.26 sq. ft.); or
 - (ii) larger than 85m² (914.93 sq. ft.) or 40% of the gross floor area of the principal dwelling unit, whichever is less. [BL3457]

Maximum Lot Coverage

- (6) The maximum permitted lot coverage for the CD25 zone is 40%.

Minimum Useable Exterior Amenity Space

- (7) The useable exterior at-grade amenity space for the accessory dwelling unit must not be less than 40 m² (430.56 sq. ft.).

Minimum Setbacks

- (8) The minimum permitted setbacks for the CD25 zone are as follows:
- (a) Principal Buildings (for any portion of the building under 4.0 m in height) (see Figure 1)

- Yard, Front, 5.0 m (16.40')
 - Yard, Side, 1.5 m (6.56')
 - Yard, Side (one side when no lane access exists for accessory building, 5.0 m (16.40')
 - Yard, Side (when common driveway shared with abutting lot or adjacent to a public lane or public street, 3.0 m (9.84')
 - Yard, Rear, 16.5 m (54.13')
 - (b) Principal Buildings (for any portion of the building over 4.0 m (13.12') in height)
 - (see Figures 1 and 3)
 - Yard, Front, 7.0 m (22.96')
 - Yard, Side, 1.5 m (9.84')
 - Yard, Side (when no lane access exists for accessory building, 6.0m (19.68')
 - Yard, Side (when common driveway shared with abutting lot or adjacent to a public lane or public street), 3.0 m (9.84')
 - Yard, Rear, 16.5 m (54.13')
 - (c) Accessory Dwelling Unit (excluding fences), ground floor (see Figure 2)
 - Yard, Front, 7.0 m (22.97') past the rear face of the principal building
 - Yard, Side, 1.5 m (6.56')
 - Yard, Rear, 2.0 m (6.56')
 - (d) Accessory Dwelling Unit, second floor (see Figure 1)
 - Yard, Front, 7.0 m (22.97') past the rear face of the principal building
 - Yard, Side, 3.0 m (9.84')
 - Yard, Rear, 2.0 m (6.56')
- (9) Alternative minimum permitted setbacks for the CD25 zone (see Figure 4) are as follows (see special requirements, section 58.2 (13):
- (a) Principal Building
 - Yard, Front, 5.0 m (16.40')
 - Yard, Side (one side), 0.0 m
 - Yard, Side (one side), 5.0 m (16.40')
 - Yard, Rear, 16.5 m (54.13')
 - (b) Accessory Dwelling Unit (excluding fences)
 - Yard, Front, 7.0 m (22.97') past the rear face of the principal building)
 - Yard, Side (one side), 0.0 m
 - Yard, Side (one side), 5.0 m (16.40')
 - Yard, Rear, 2.0 m (6.56')
- (10) The minimum permitted setback from the vehicle entrance of a principal or accessory building to a public road other than a lane is 6.0 m (19.69').

Maximum Building Height

- (11) The maximum permitted building heights for the CD25 zone are as follows (see Figure 3):
- (a) Principal Building, 9.0 m (29.53')
 - (b) Accessory Building, 5.0 m (16.40')

Maximum Eave line Height

- (12) The maximum permitted eave line height, for all eave lines, is:
- (a) Principal Building, 7.0 m (22.96')
 - (b) Two-storey Accessory Building that contains a dwelling unit, 5.5 m (18.04')
 - (c) One-storey Accessory Building that contains a dwelling unit, 3.0 m (9.84')

Conditions of Use

- (13) The conditions of use for the CD25 zone are as follows:
- (a) The setbacks under subsection (9) require that each lot on the plan of subdivision must
 - (i) be developed with the side yards oriented consistently with each other (see Figure 4), and
 - (ii) have an easement on title allowing the abutting owner the right of access for maintenance purposes.
 - (b) In an accessory building with a dwelling unit, the outdoor, at-grade useable amenity space must be immediately adjacent to and accessible from the entry of the dwelling unit.
 - (c) Assisted Living, Supportive Housing, and Community Care Facilities may be permitted provided that
 - (i) the number of residents does not exceed three, and
 - (ii) the use is within the principal building only
 - (c) [Repealed. BL3891]
 - (d) Despite section 5, the gross floor area for the purpose of the CD25 zone does not include decks or porches where walls and glazing do not exist.
 - (e) Driveway access must be shared by both the principal building and accessory building. Second individual access may be considered for corner lots. [BL 3872]
 - (f) If a lane exists, all site parking must be accessed from the lane and not from the street.
 - (g) Individual driveway widths, where lane access is not available, must not exceed 3.0 m (9.84') per unit of the lot frontage from the front property line to the public road.

General

- (14) In the event of conflict between the provisions of Part 1 to 5 of this Bylaw and the provisions of this zone, the provisions of the CD25 zone prevail.

Figure 1

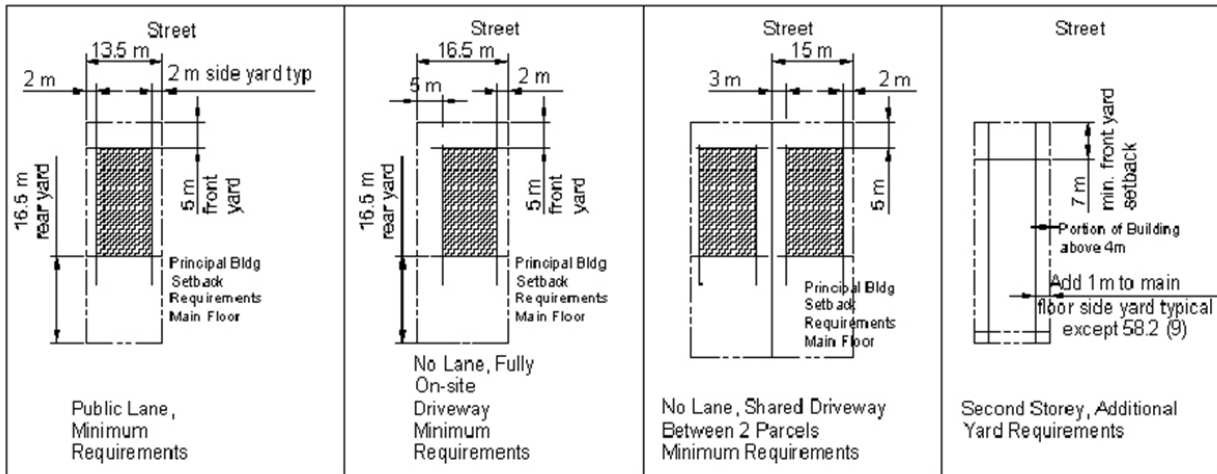


Figure 2

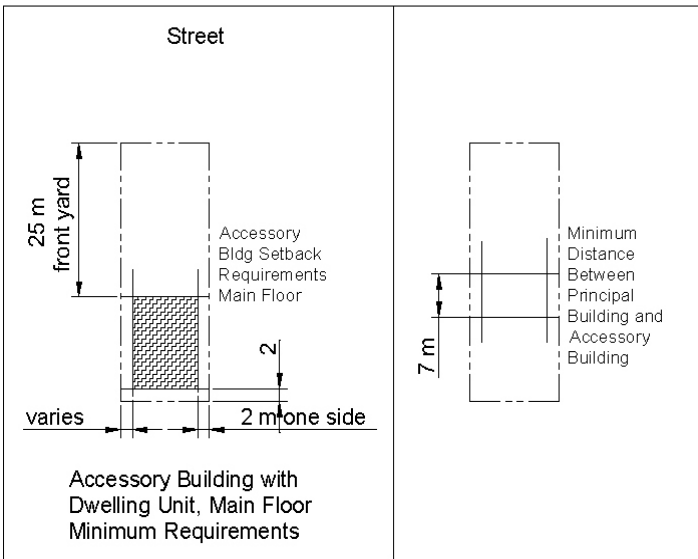


Figure 3

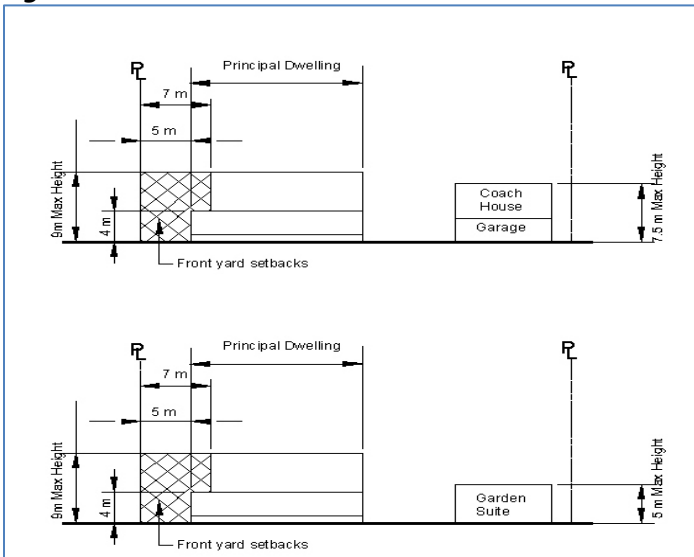
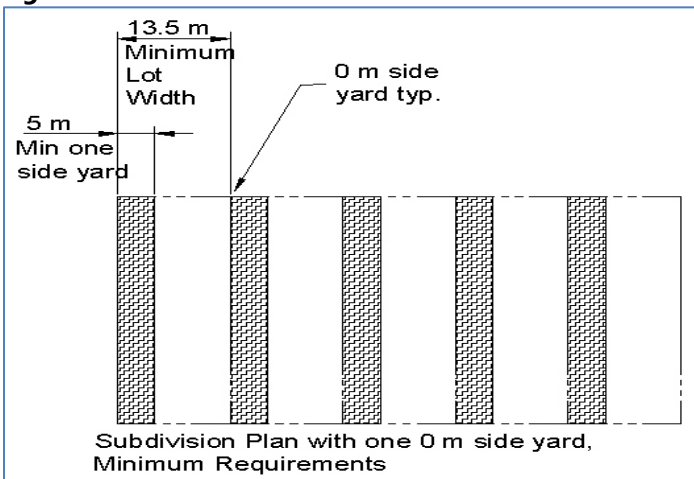
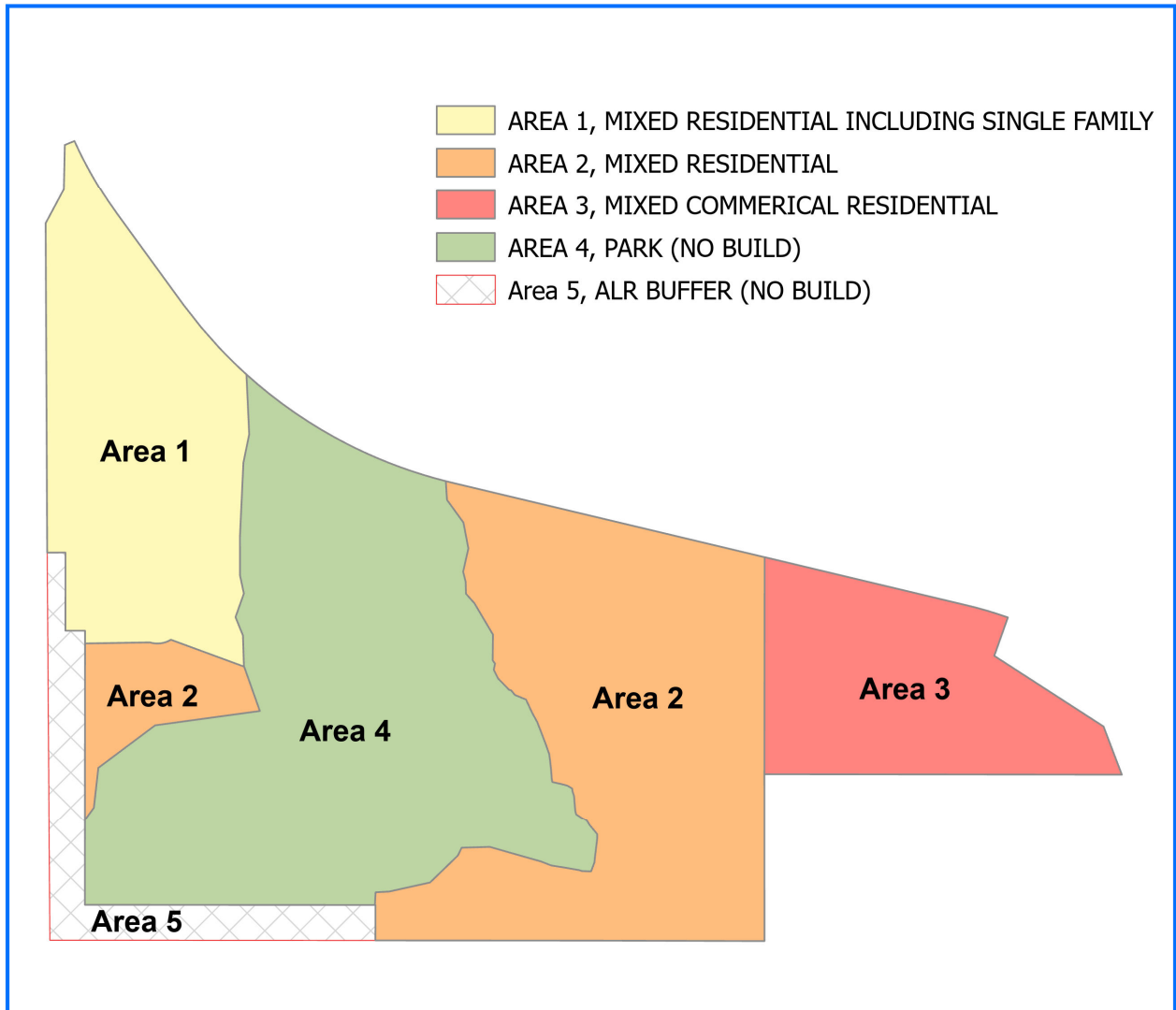


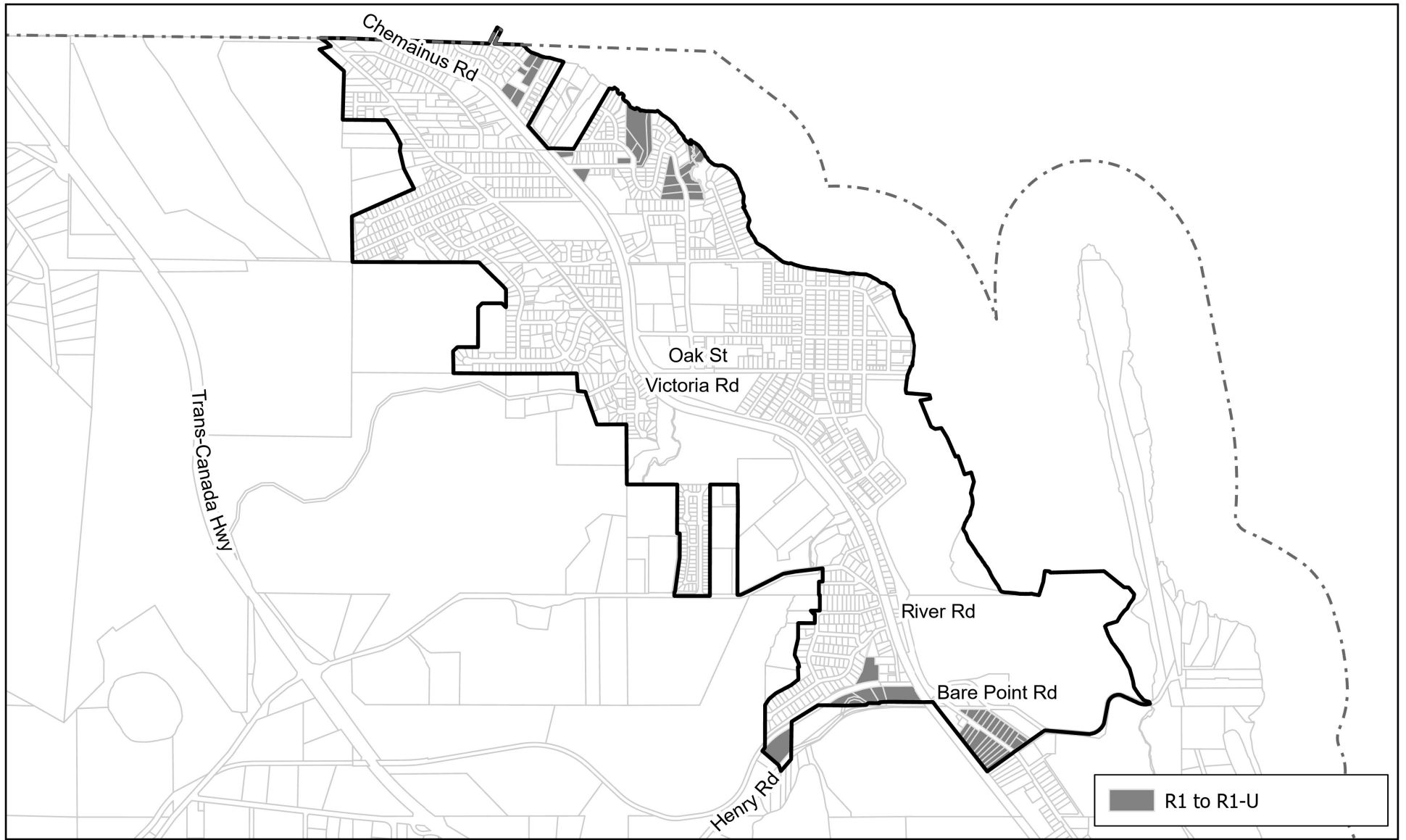
Figure 4



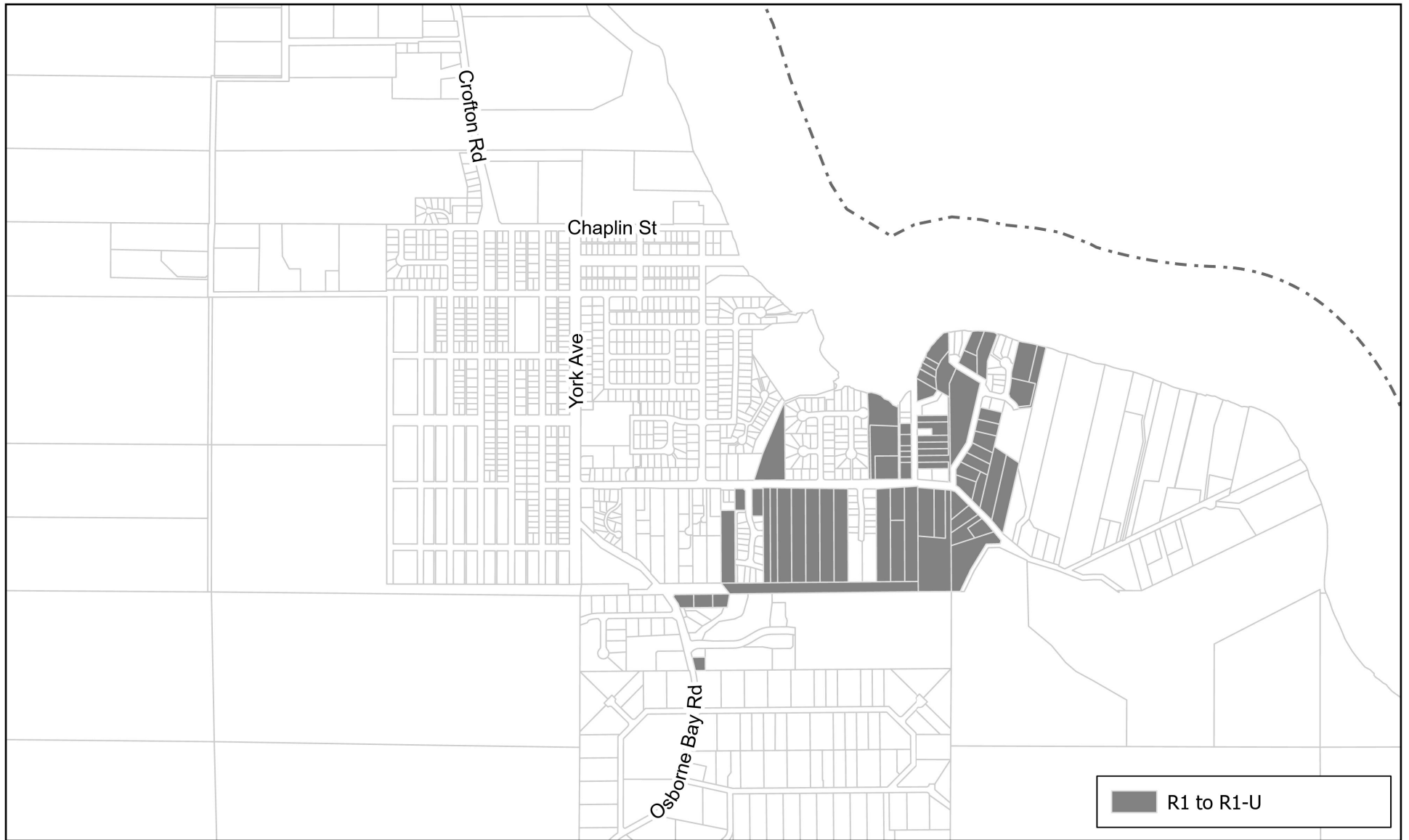
Schedule "H"

Chemainus Artisan Village Comprehensive Development Zone Map





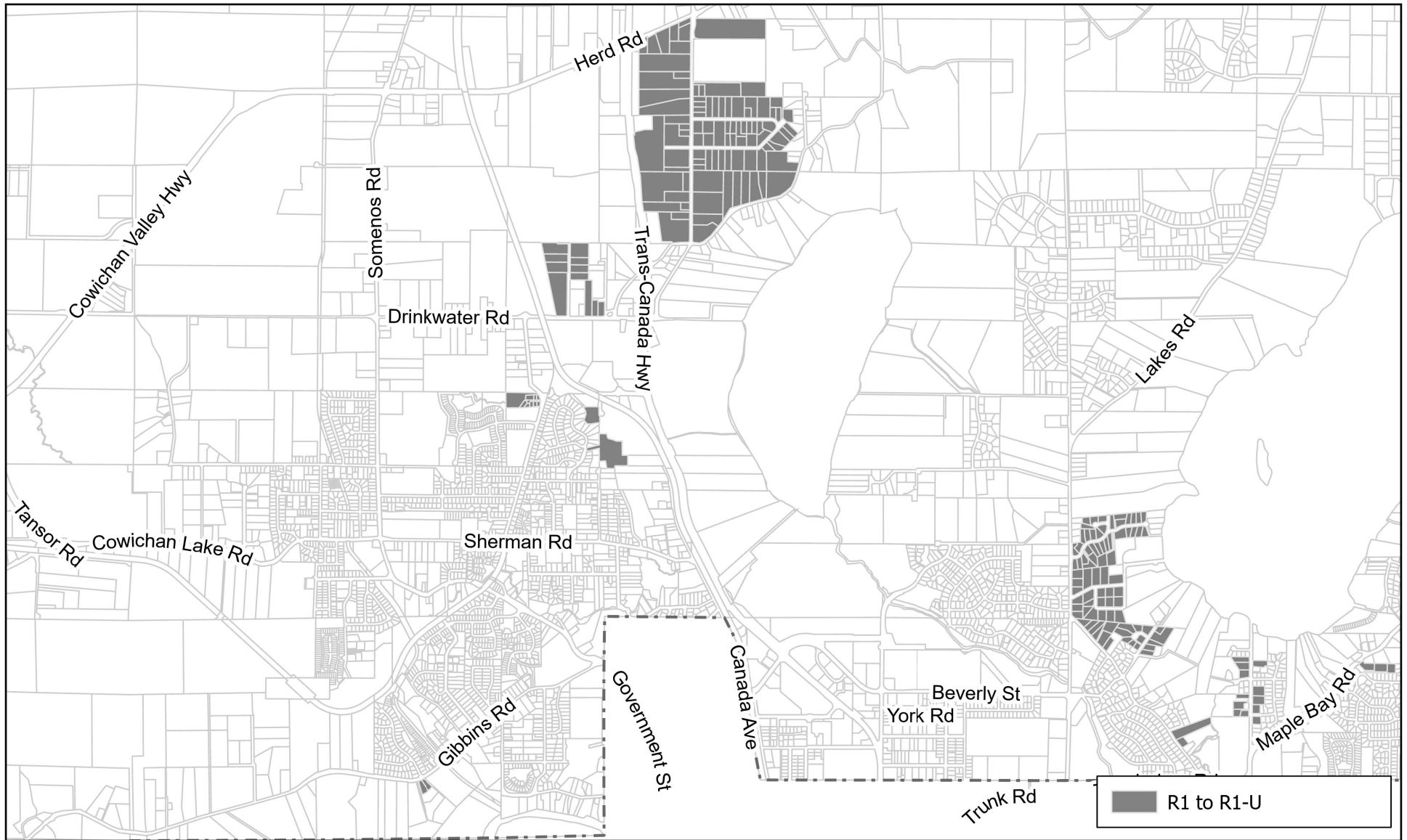
North Cowichan Zoning Change R1 to R1-U Chemainus



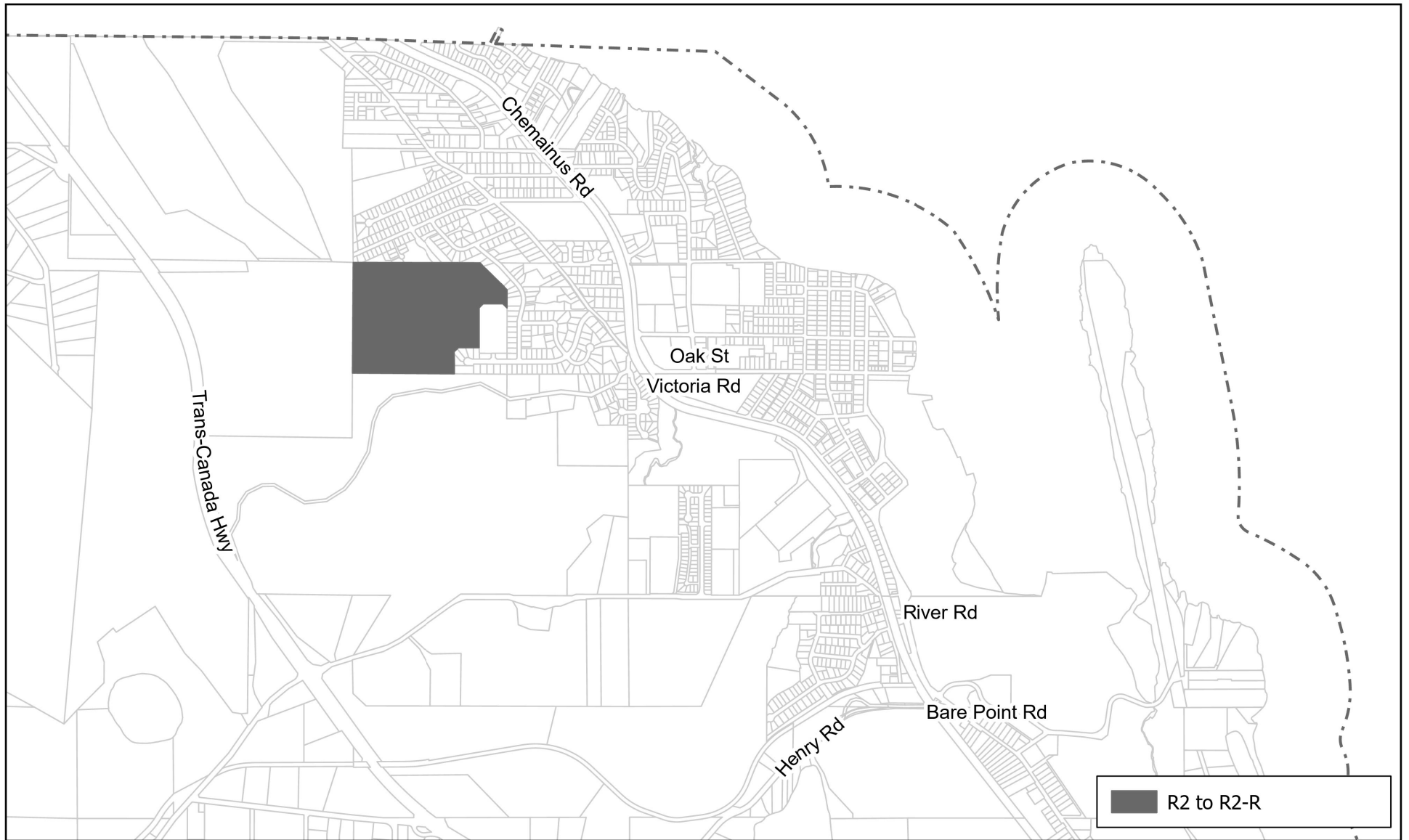
North Cowichan Zoning Change R1 to R1-U Crofton



North Cowichan Zoning Change R1 to R1-U South End - East



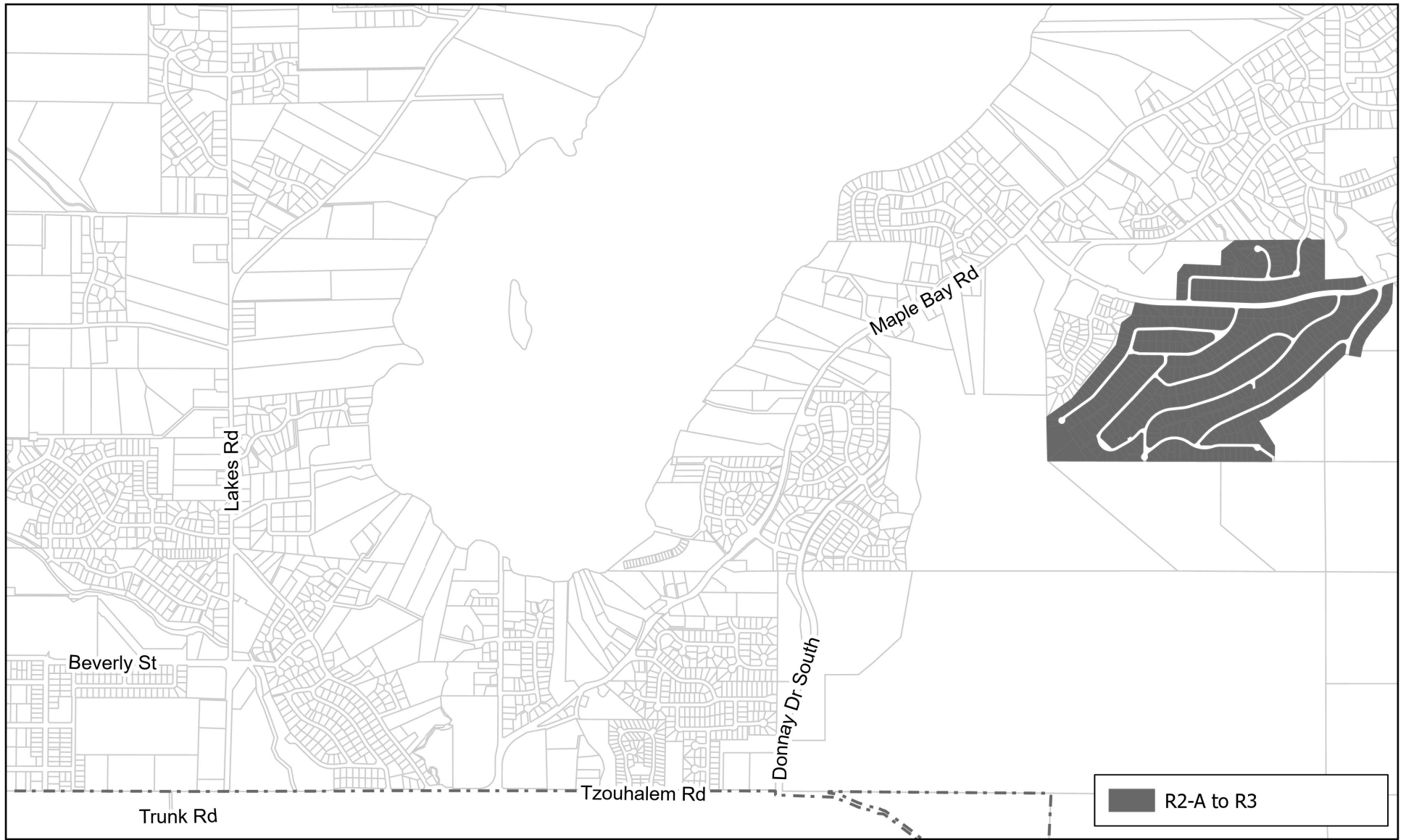
North Cowichan Zoning Change R1 to R1-U South End - West



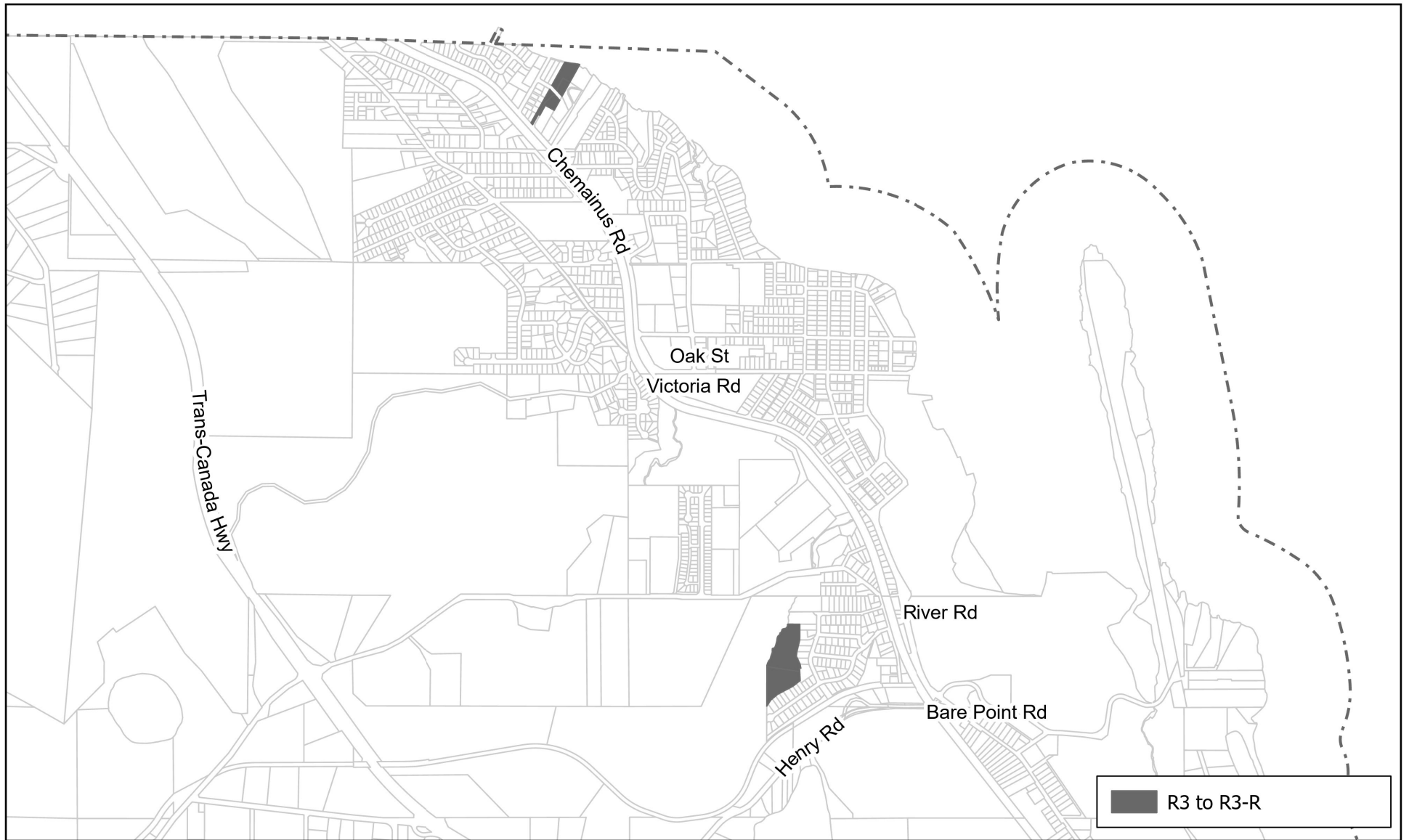
North Cowichan Zoning Change R2 to R2-R Chemainus



North Cowichan Zoning Change R2 to R2-R South End



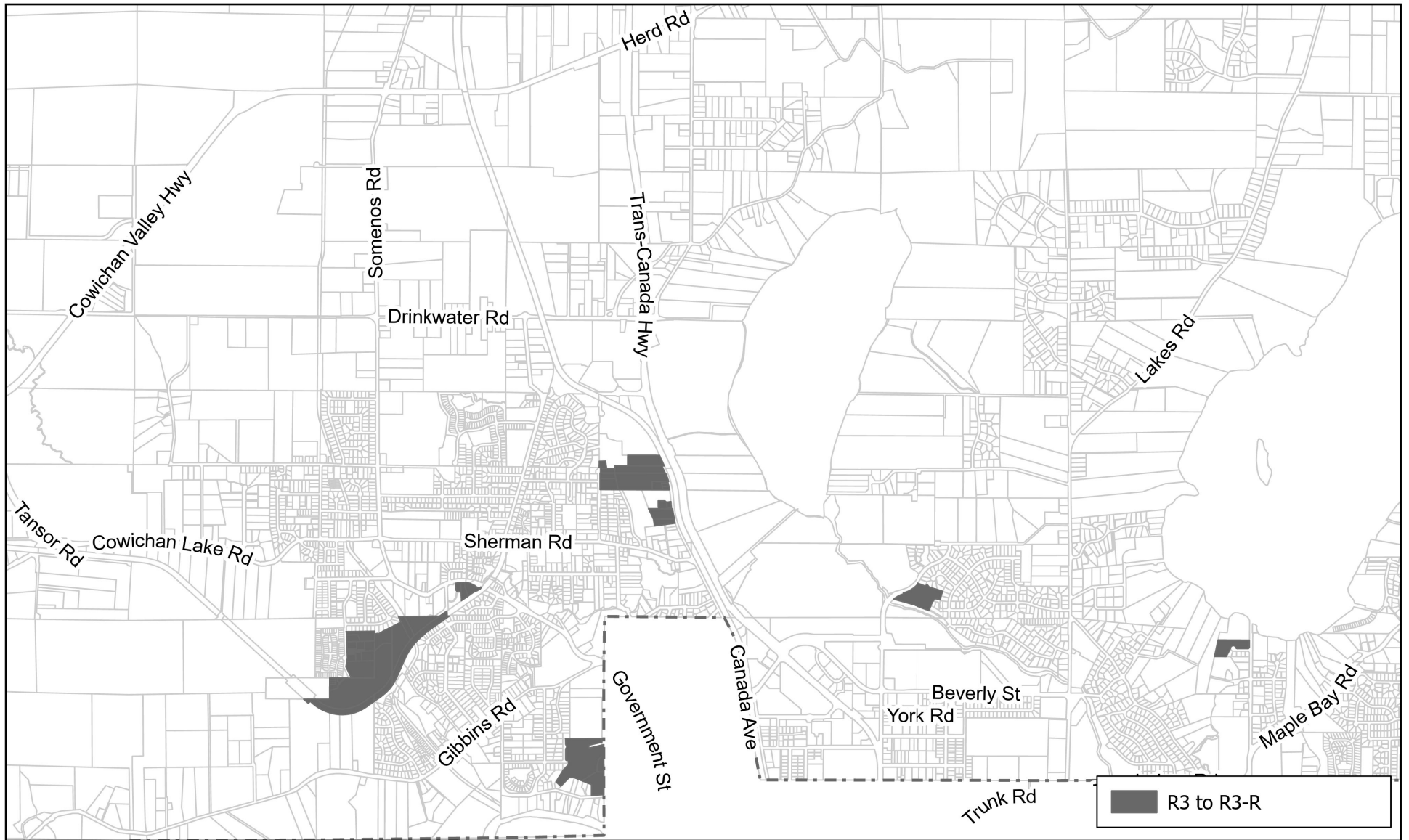
North Cowichan Zoning Change R2-A to R3 South End



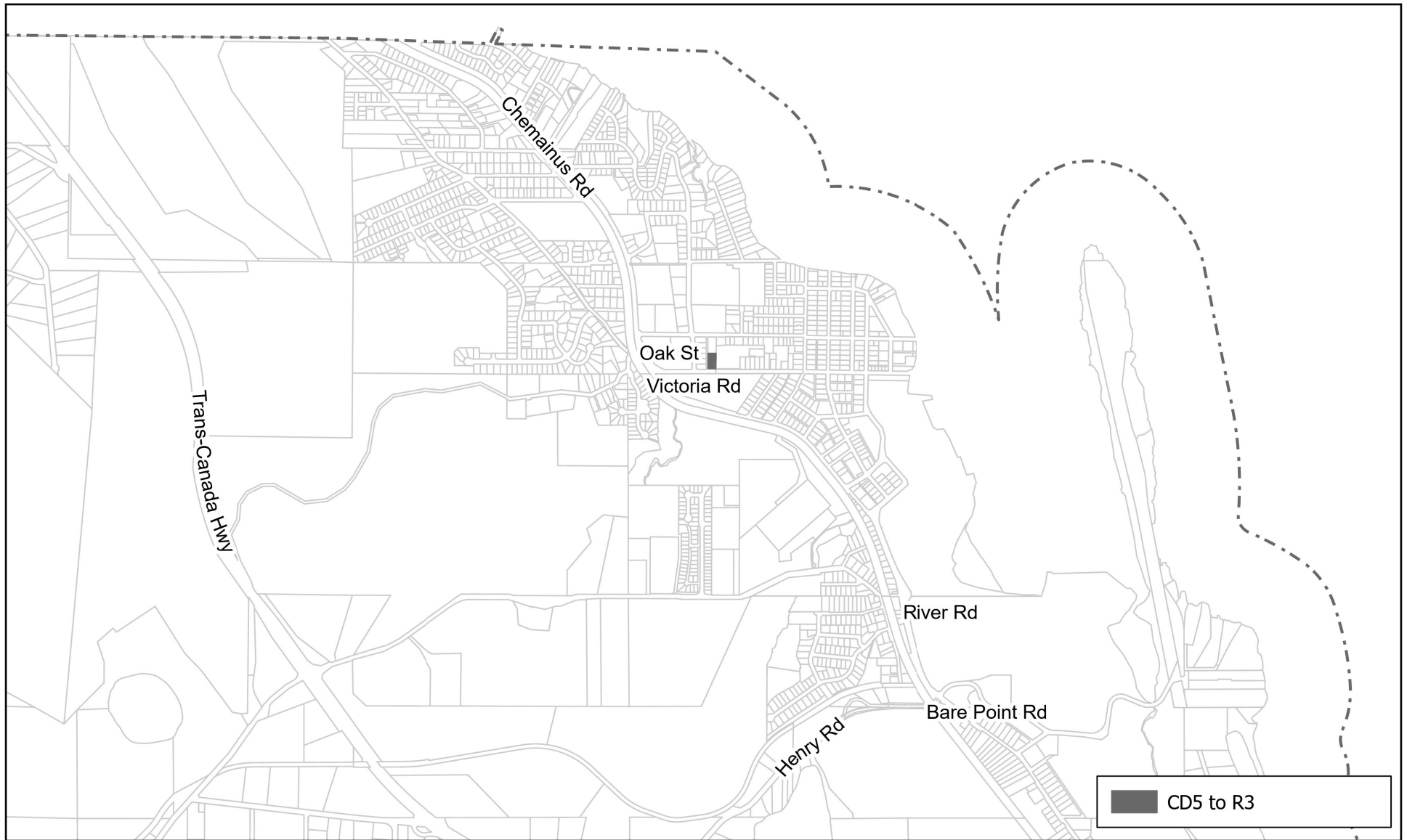
North Cowichan Zoning Change R3 to R3-R Chemainus



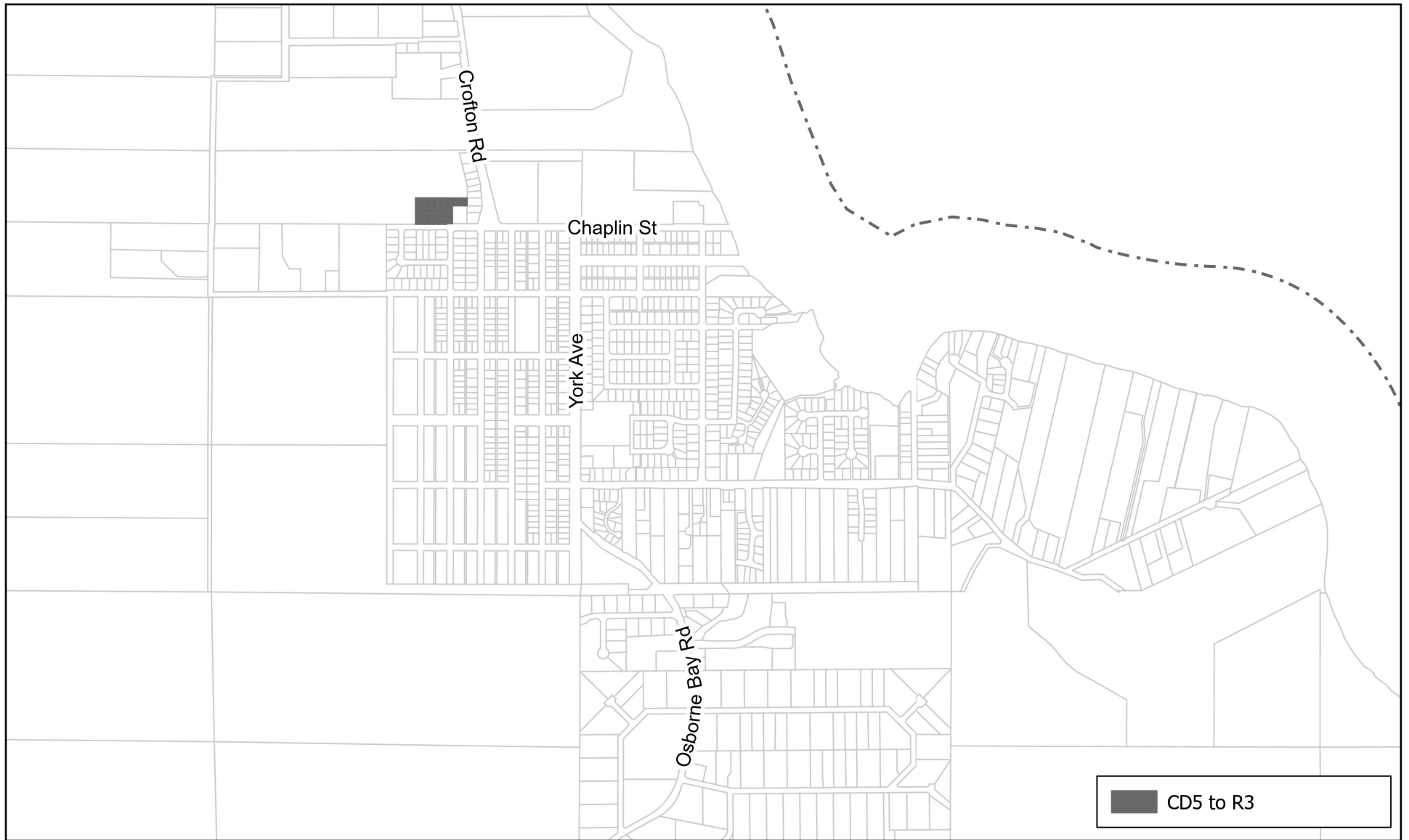
North Cowichan Zoning Change R3 to R3-R Crofton



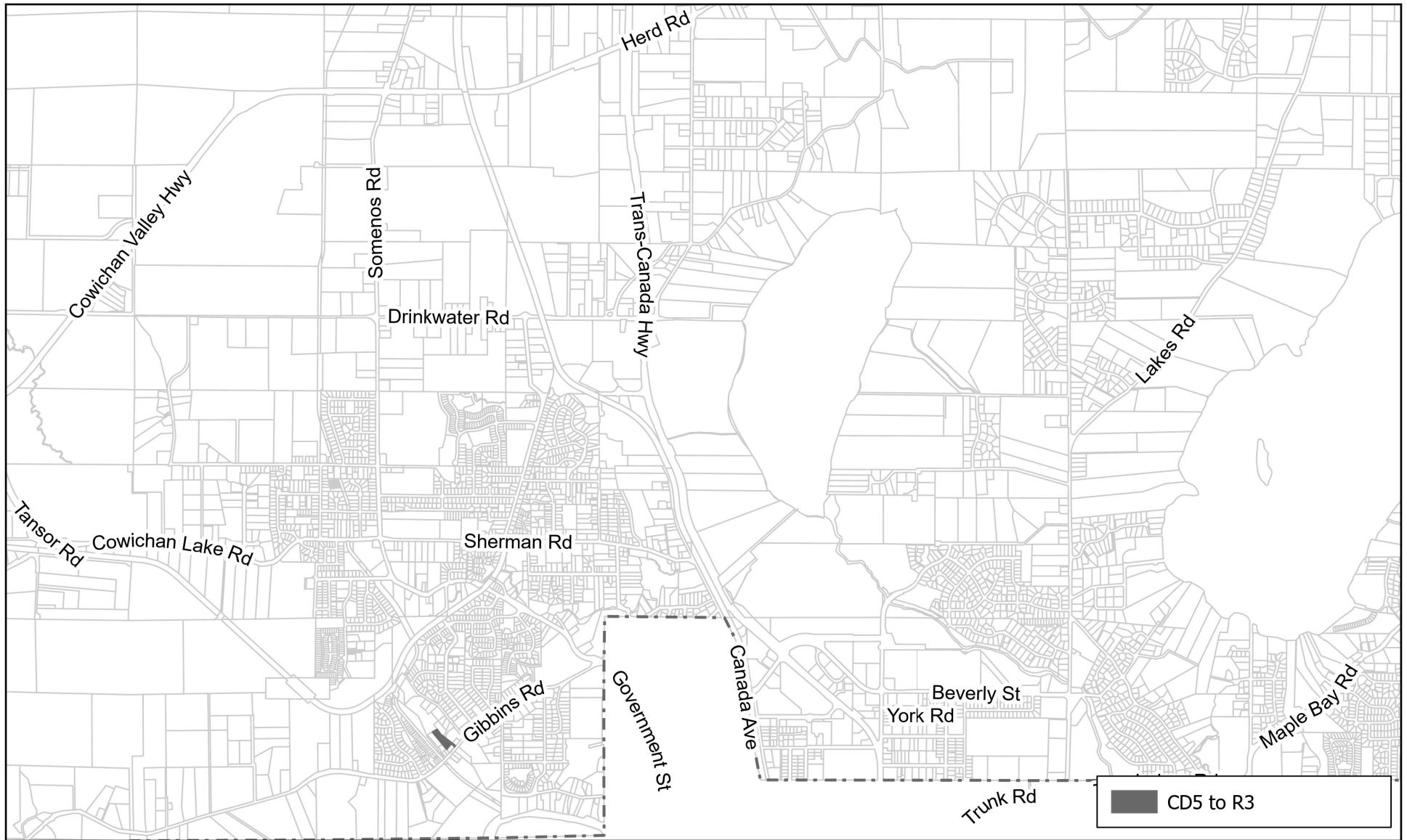
North Cowichan Zoning Change R3 to R3-R South End



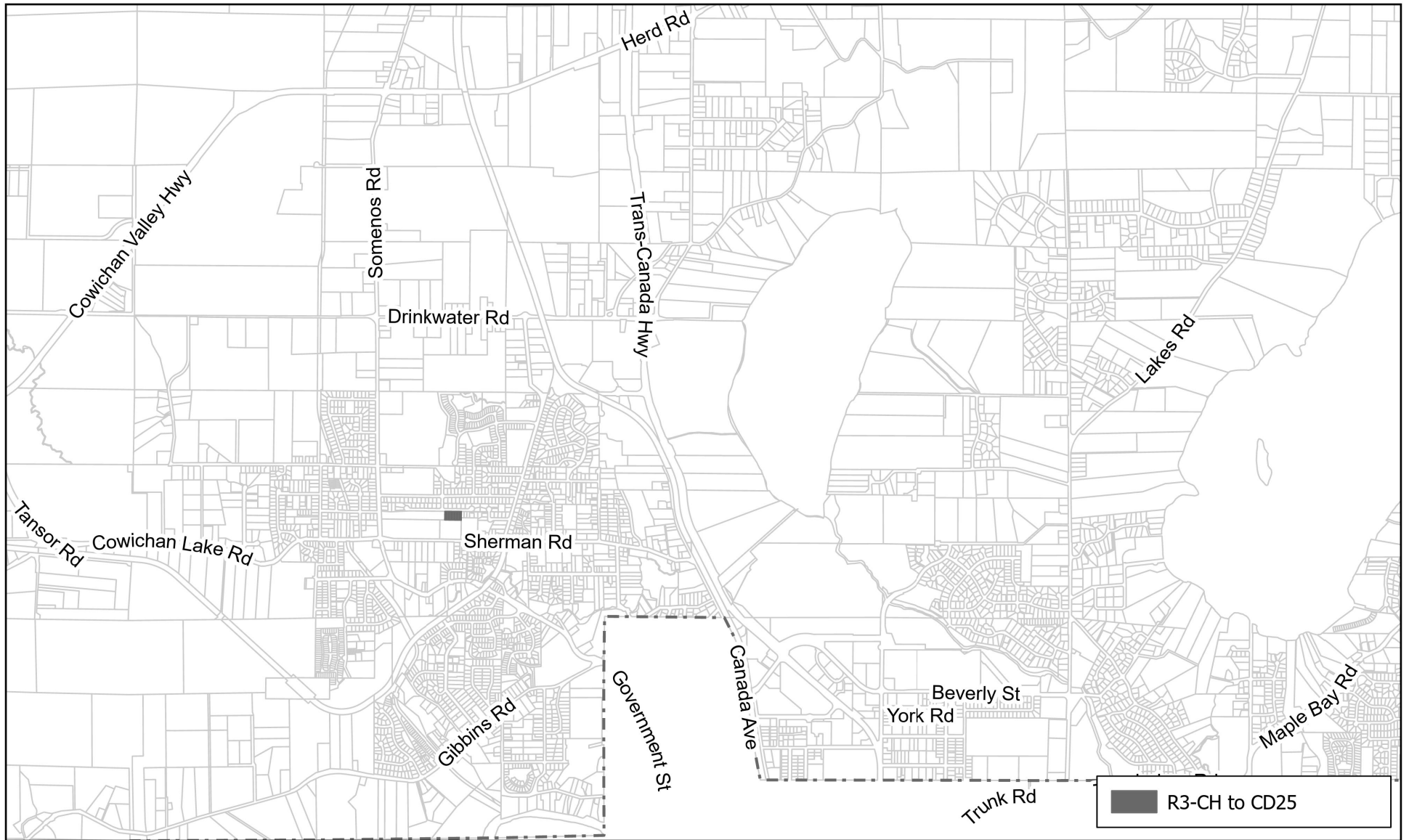
North Cowichan Zoning Change CD5 to R3 Chemainus



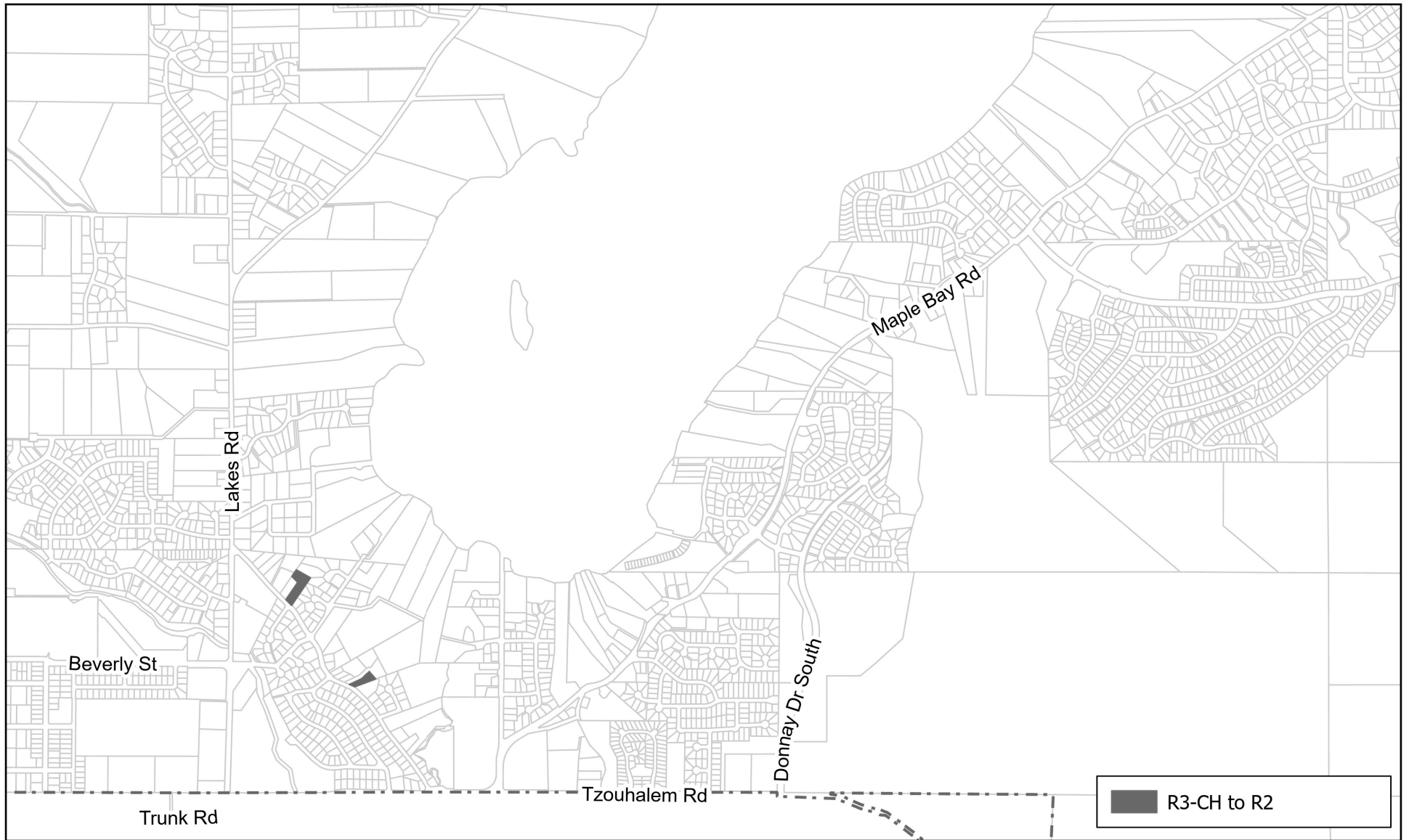
North Cowichan Zoning Change CD5 to R3 Crofton



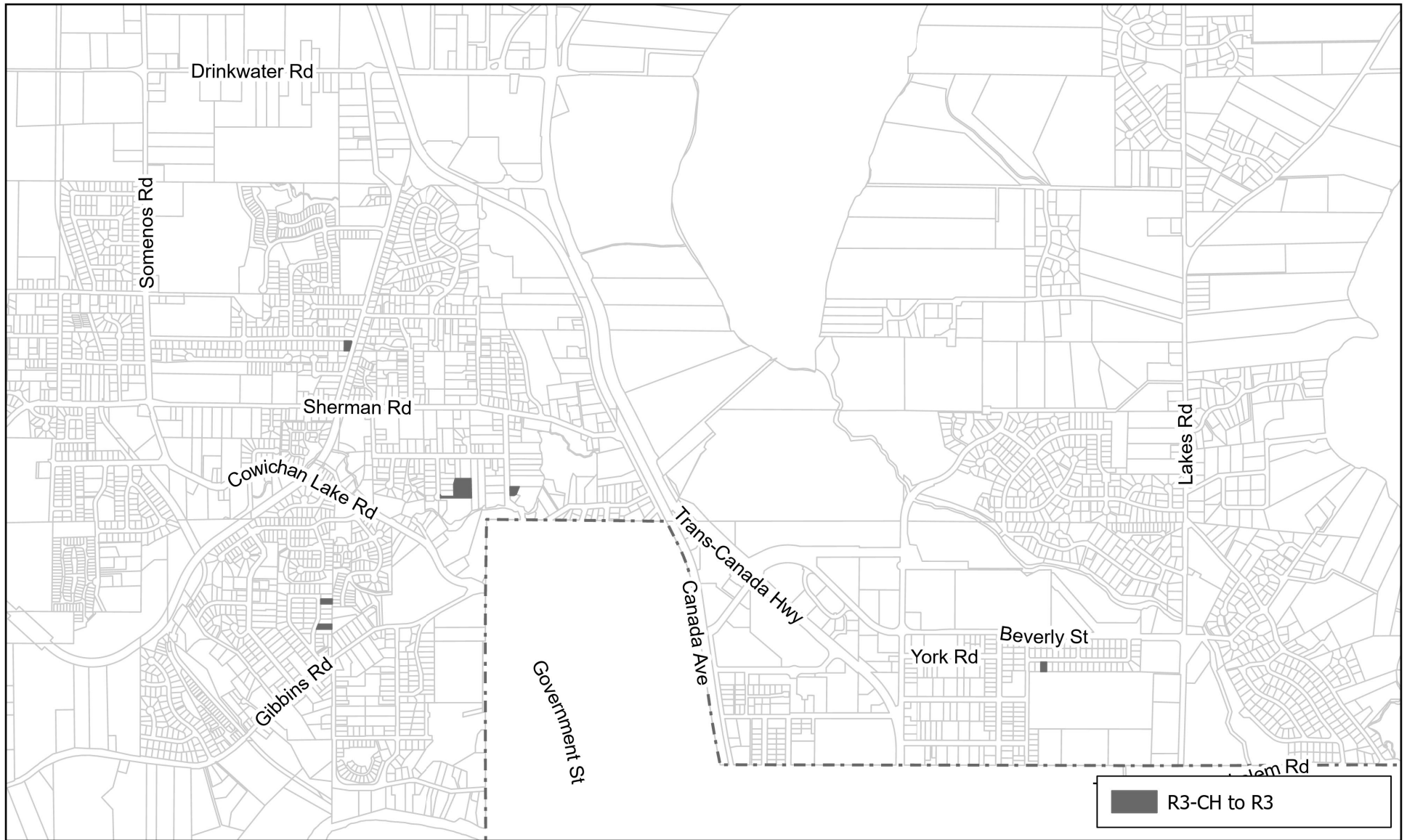
North Cowichan Zoning Change CD5 to R3 South End



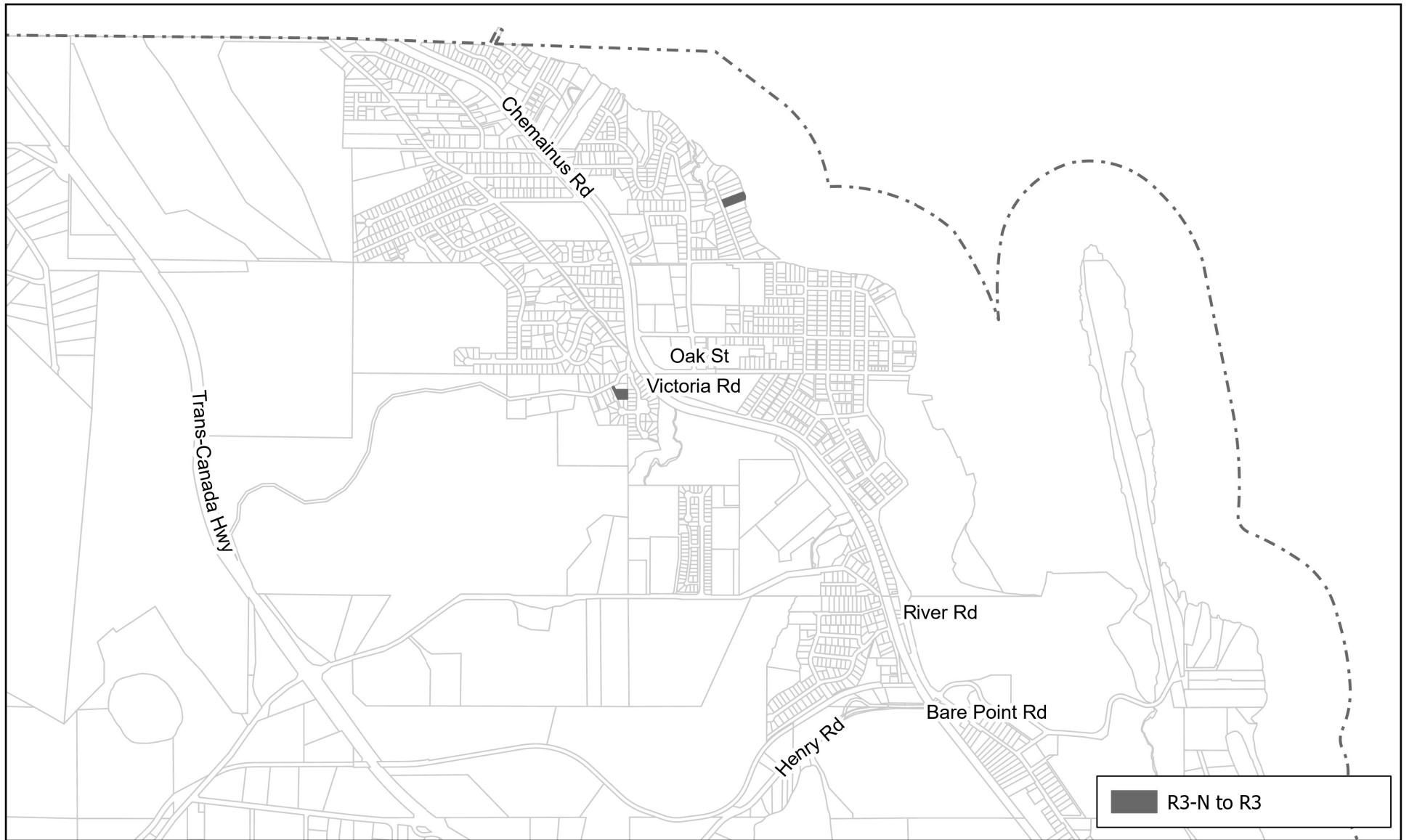
North Cowichan Zoning Change R3-CH to CD25 South End



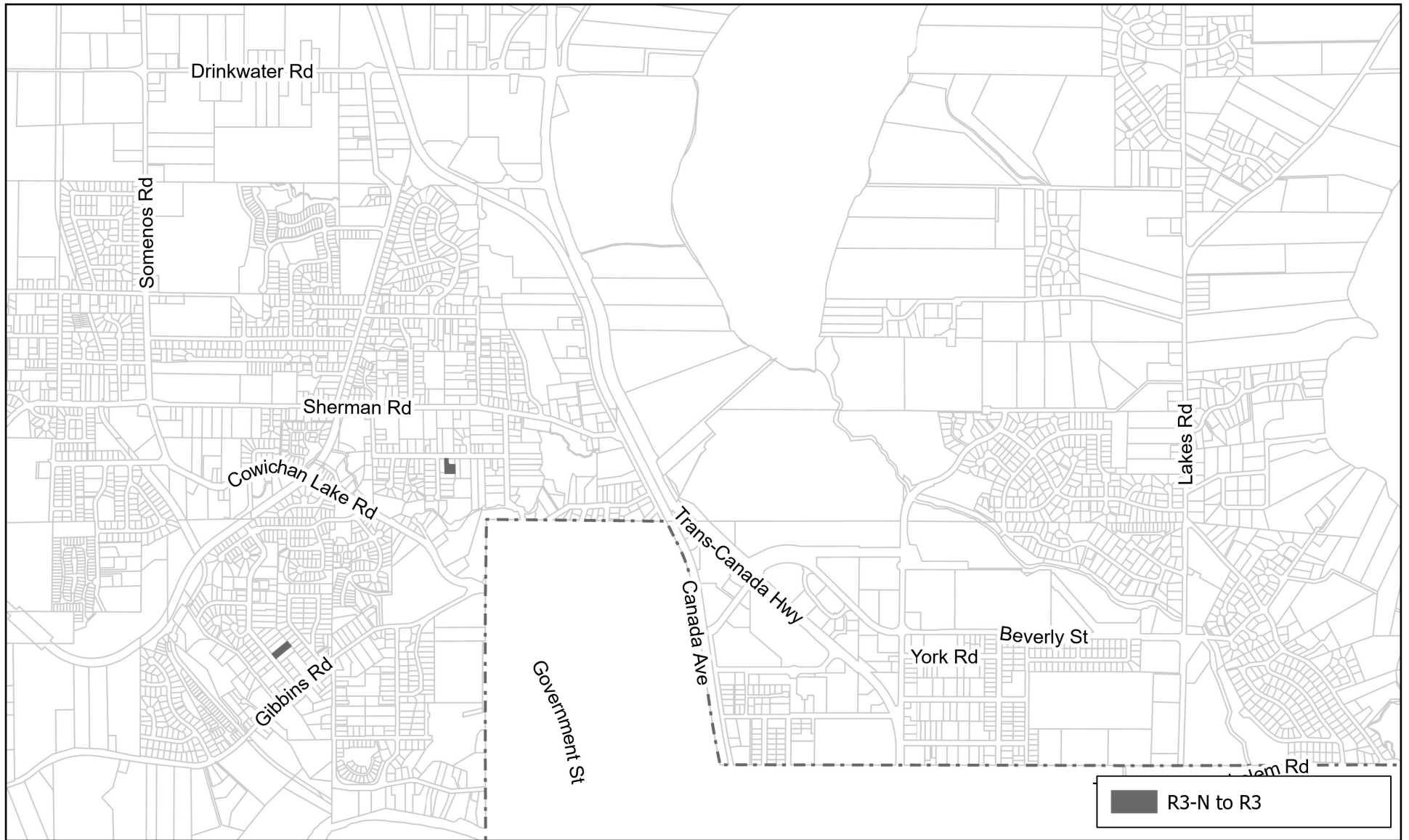
North Cowichan Zoning Change R3-CH to R2 South End



North Cowichan Zoning Change R3-CH to R3 South End



North Cowichan Zoning Change R3-N to R3 Chemainus



North Cowichan Zoning Change R3-N to R3 South End



North Cowichan Zoning Change CD18 to CD18-R South End